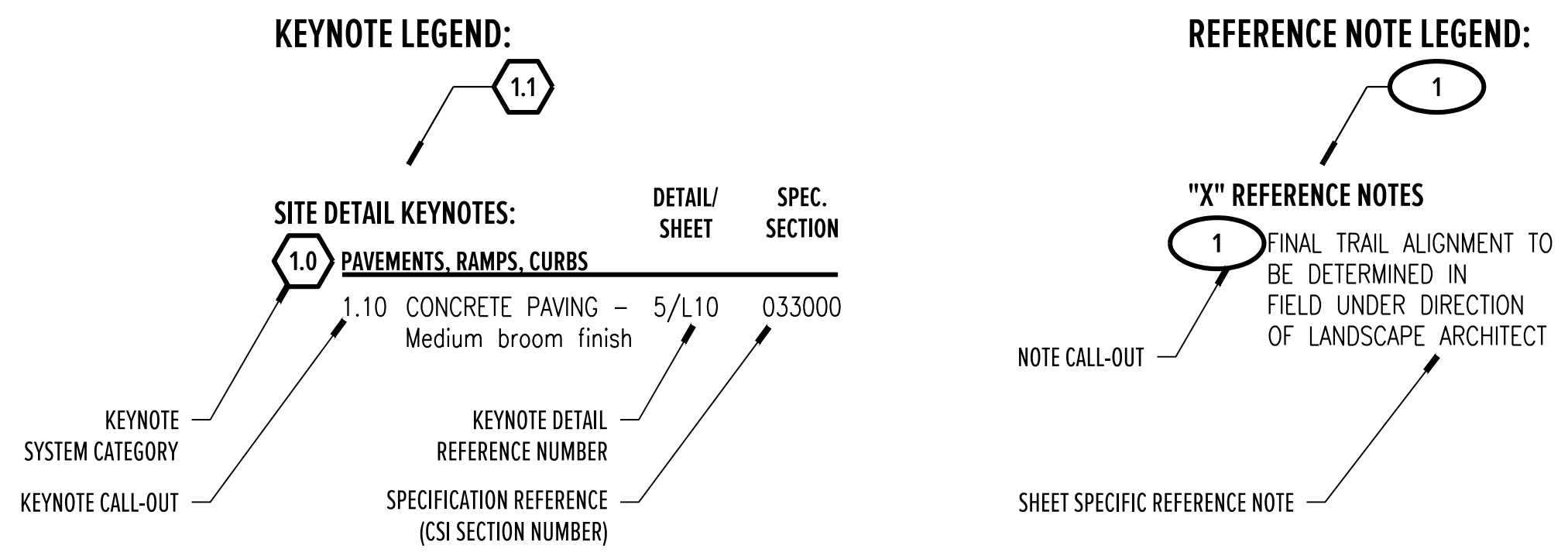
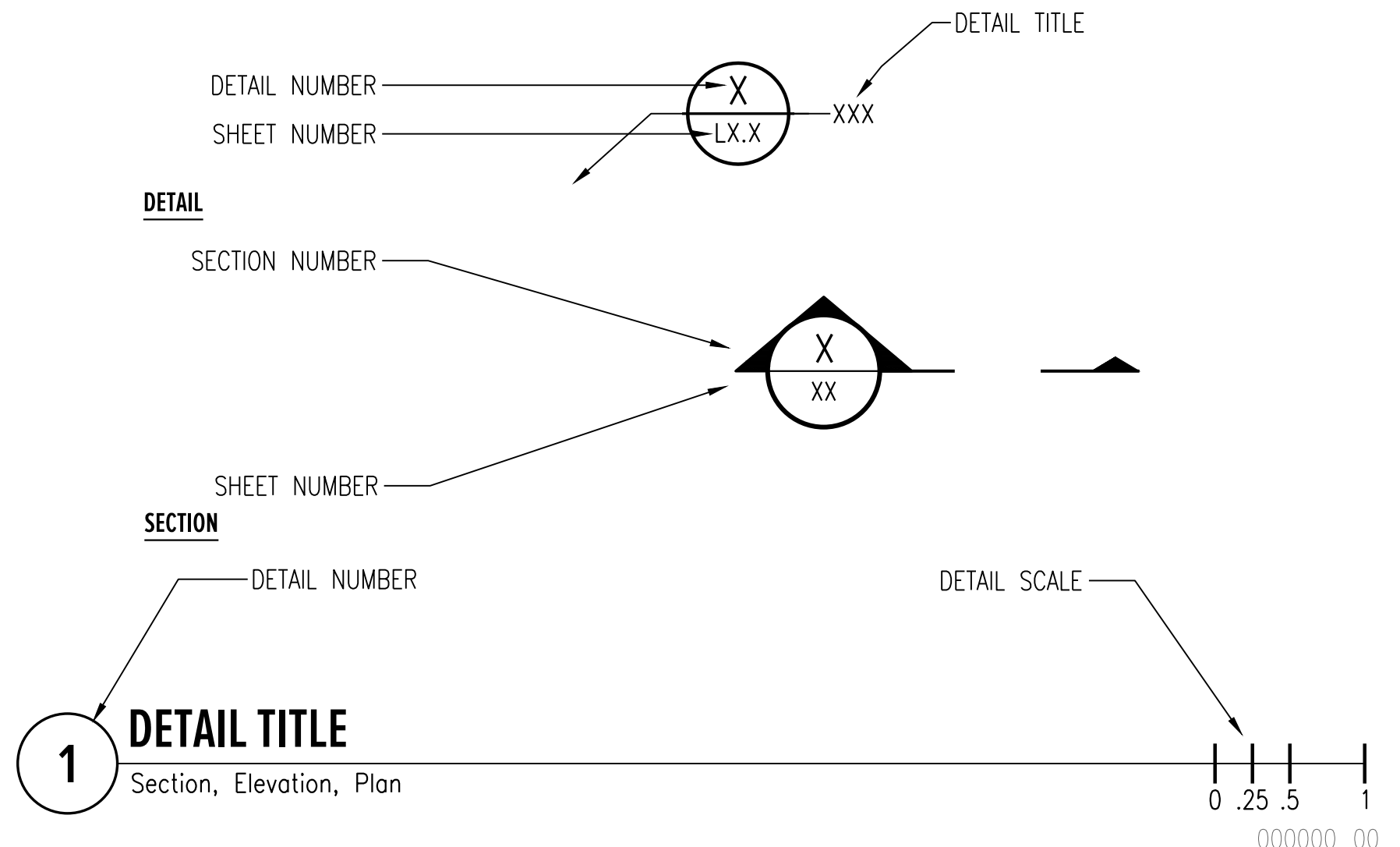


KEYNOTE LEGEND



SYMBOL LIST



GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2023 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF PORTLAND.
- ATTENTION: OREGON LAWN REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR THEIR CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CITY OF PORTLAND AND/OR OREGON DEQ FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS, DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ENTRY WAY AND PARKING AREA, KEEPING THESE AREAS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.

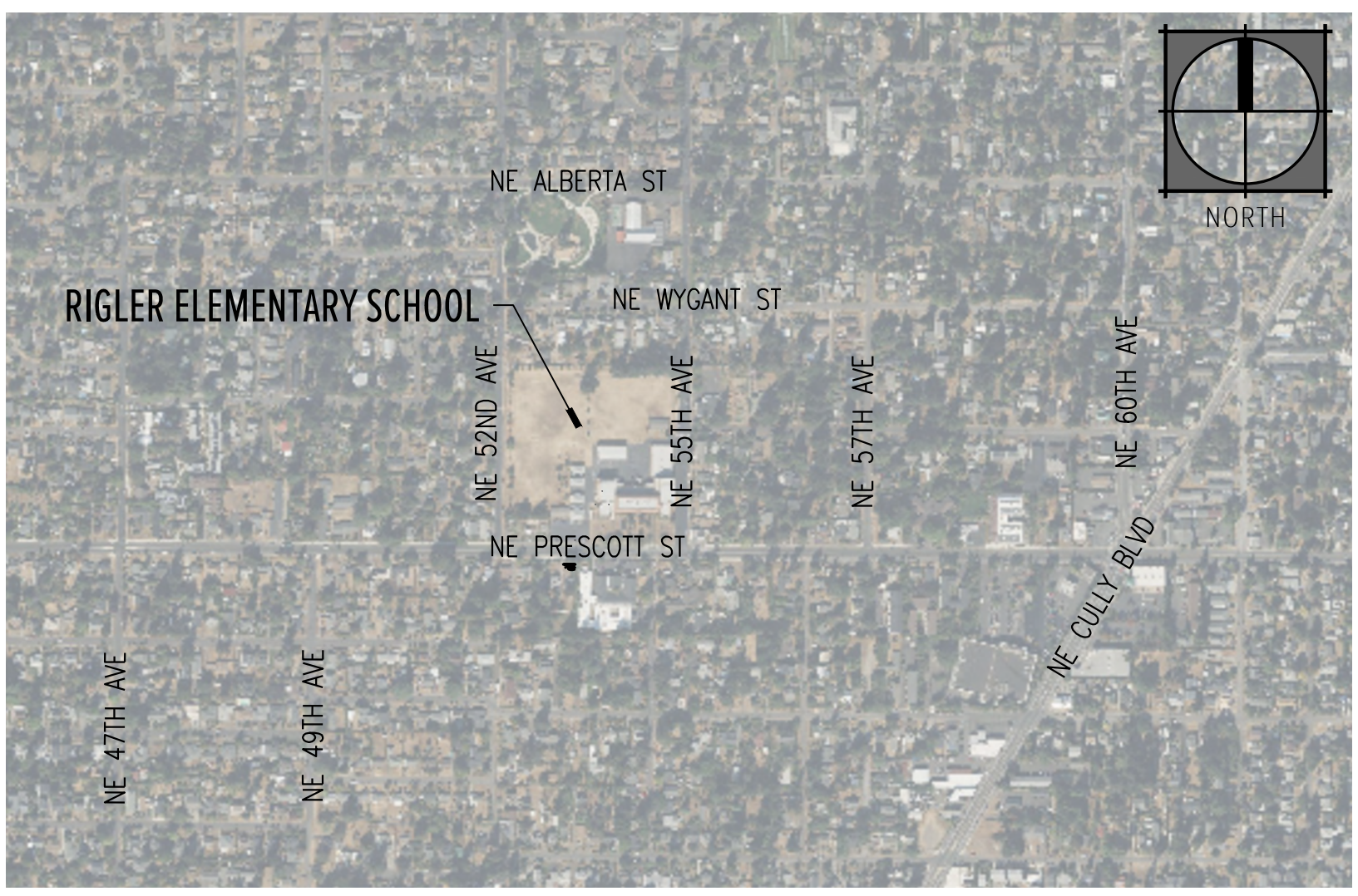
CONSTRUCTION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND PROPER DISPOSAL OF EXCAVATION MATERIAL, PLANT MATERIAL, EXISTING A.C., CURBS, CATCH BASINS AND ANY OTHER ELEMENTS IDENTIFIED IN THE PLANS.
- ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN EXISTING AND NEW PAVEMENT.
- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.

ABBREVIATIONS

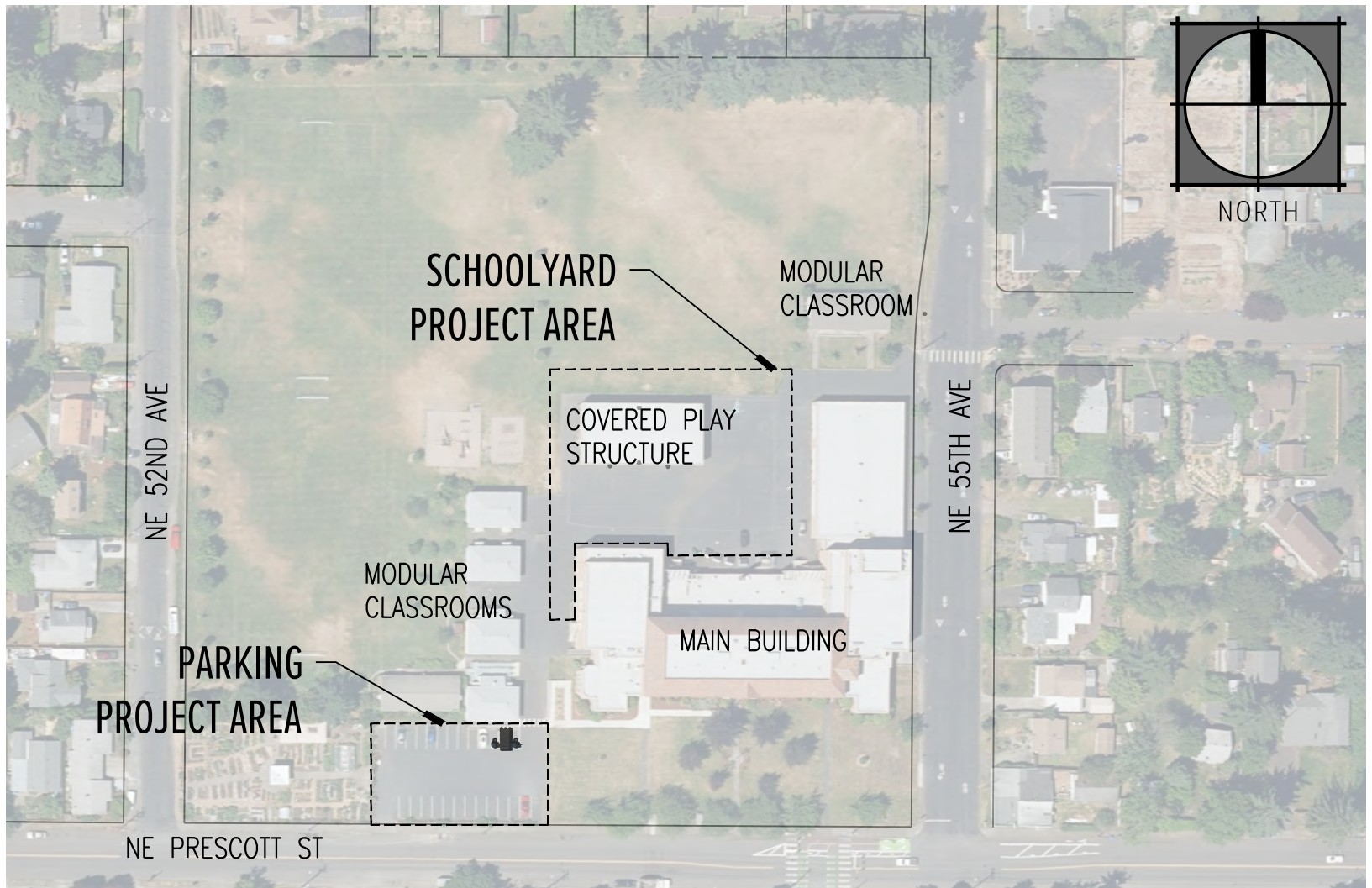
APPROX.	= APPROXIMATE	O.C.	= ON CENTER
ABBEV.	= ABBREVIATED	O.D.	= OUTSIDE DIAMETER
BMPS	= BEST MANAGEMENT PRACTICES	P.A.	= PLANTING AREA
BO	= BY OWNER	P.O.B.	= POINT OF BEGINNING
BR	= BOTTOM OF RAMP	PERF	= PERFORATED
BS	= BOTTOM OF STAIR	PVC	= POLYVINYL CHLORIDE PIPE
CAL.	= CALIPER	REQ.	= REQUIRED
CONT.	= CONTINUOUS	R.	= RADIUS
C.P.	= CENTER POINT	RE	= RIM ELEVATION
DOM	= DOMESTIC WATER LINE	REC.	= RECTANGLE
(E)	= EXISTING	R.O.W.	= RIGHT OF WAY
EA.	= EACH	SAN	= SANITARY
E.J.	= EXPANSION JOINT	SEC.	= SECONDARY
ELEV	= ELEVATION	SST	= STAINLESS STEEL
EOP	= EDGE OF PAVEMENT	TC	= TOP OF CURB
ESC	= EROSION AND SEDIMENT CONTROL	TD	= TRENCH DRAIN
FG	= FINISH GRADE	TEL	= TELEPHONE
F.L.	= FLOW LINE	TG	= TOP OF GRATE
FS	= FINISH SURFACE	TR	= TOP OF RAMP
GAL	= GALLON	TS	= TOP OF STAIR
GND	= GROUND	TYP	= TYPICAL
HES	= HIGH EARLY STRENGTH	U.G.	= UNDERGROUND
IE	= INVERT ELEVATION	U.O.N	= UNLESS OTHERWISE NOTED
LF	= LINEAR FEET	VR	= VANDAL RESISTANT
MIN	= MINIMUM	WM	= WATER METER
MAX	= MAXIMUM	WP	= WATER PROOF
N.I.C.	= NOT IN CONTRACT	WQ	= WATER QUALITY

LOCATION MAPS



NOT TO SCALE

AREA MAP



NOT TO SCALE

CONTEXT MAP

DRAWING INDEX

SHEET DESCRIPTION	No.
GENERAL INFORMATION	G1
EXISTING CONDITION PLAN	E1
EROSION CONTROL & DEMOLITION PLAN	EC1
MATERIALS PLAN	L1.1 – L1.3
LAYOUT PLAN	L2.1 – L2.2
PLANTING PLAN	L3.1 – L3.2
CONSTRUCTION DETAILS	D1 – D5

PROJECT TEAM

PORTLAND PUBLIC SCHOOLS

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PHONE: 971.201.8771
PROJECT CONTACT: THERESA FAGIN

ESTUARY PARTNERSHIP

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PORTLAND, OR 97232
PHONE: 503.500.5254
PROJECT CONTACT: CHRIS HATHAWAY

LANDSCAPE ARCHITECT

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PHONE: 503.715.5453
PROJECT CONTACT: DAVE ELKIN, OWNER

SURVEYOR

COMPASS LAND SURVEYORS
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SUITE 705
MILWAUKIE, OR 97222
PHONE: 503.653.9093
PROJECT CONTACT: JOSEPH C. MCALLISTER



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Rigler Stormwater Retrofits
Rigler Elementary School
5401 NE Prescott St
Portland, OR 97218



SHEET DESCRIPTION:
GENERAL INFORMATION

SUBMITTAL:
BID SET

PROJECT:
**RIGLER ELEMENTARY
STORMWATER RETROFIT**

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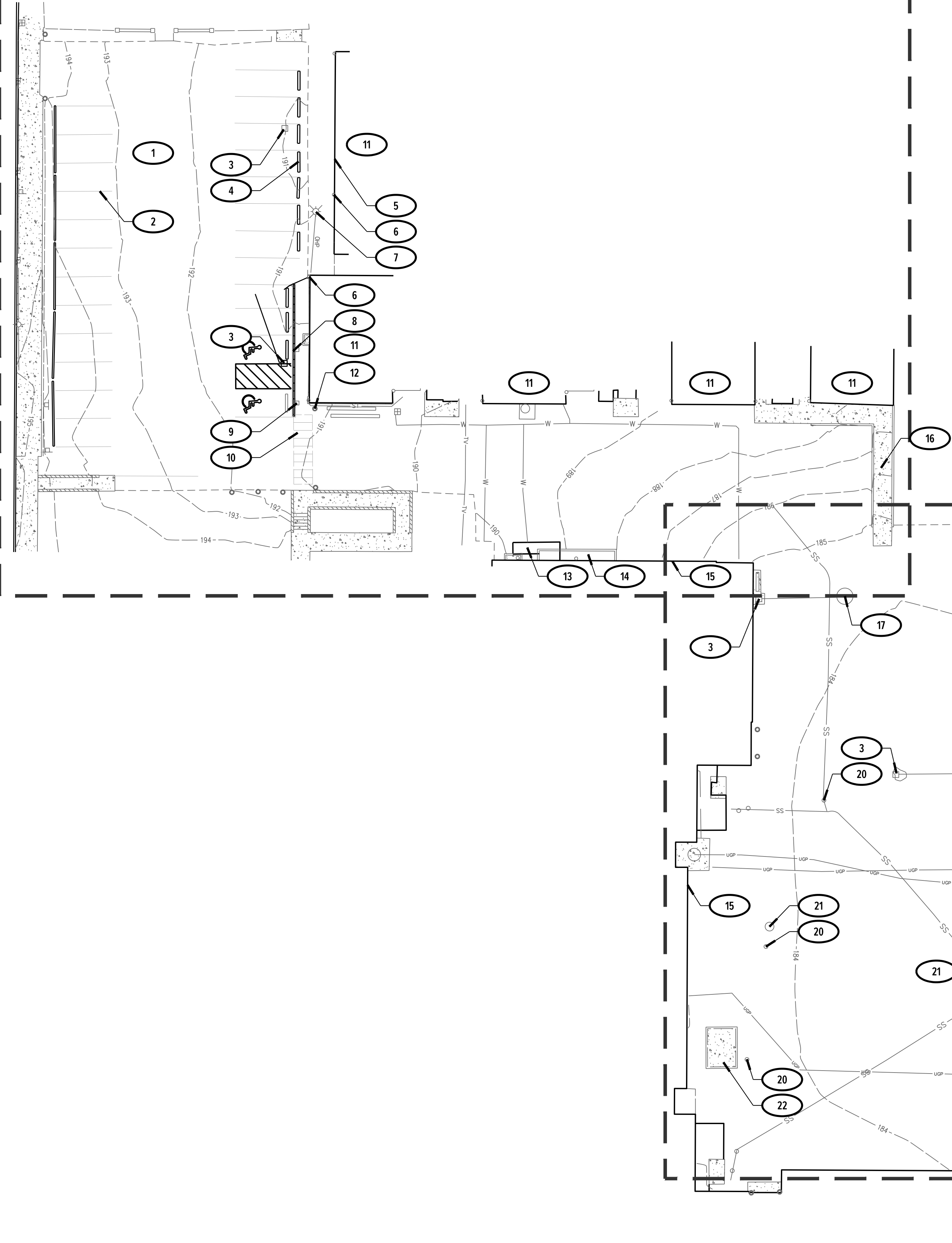
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No.	Revision	Date



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Sheet	1 of 15

NE PRESCOTT ST

LX.1



EXISTING CONDITION KEYNOTES

- 1 PARKING LOT
- 2 PARKING STRIPING
- 3 CATCH BASIN
- 4 WHEEL STOP
- 5 BUILDING
- 6 DOWNSPOUT
- 7 LIGHT POLE
- 8 TRENCH DRAIN
- 9 ADA PARKING SIGN
- 10 PEDESTRIAN CROSSING STRIPING
- 11 MODULAR CLASSROOM
- 12 BOLLARD
- 13 STAIRS

- 14 WINDOW WELL
- 15 MAIN BUILDING
- 16 RAMP
- 17 STORM DRYWELL
- 18 COVERED PLAY STRUCTURE
- 19 PLAYGROUND
- 20 SANITARY CLEANOUT
- 21 SANITARY MANHOLE
- 22 GENERATOR WITH FENCE
- 23 ELECTRIC VAULT
- 24 EXISTING TREE
- 25 EXISTING EDGE OF ASPHALT
- 26 EXISTING CONCRETE CURB

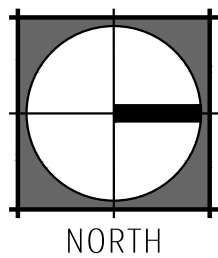
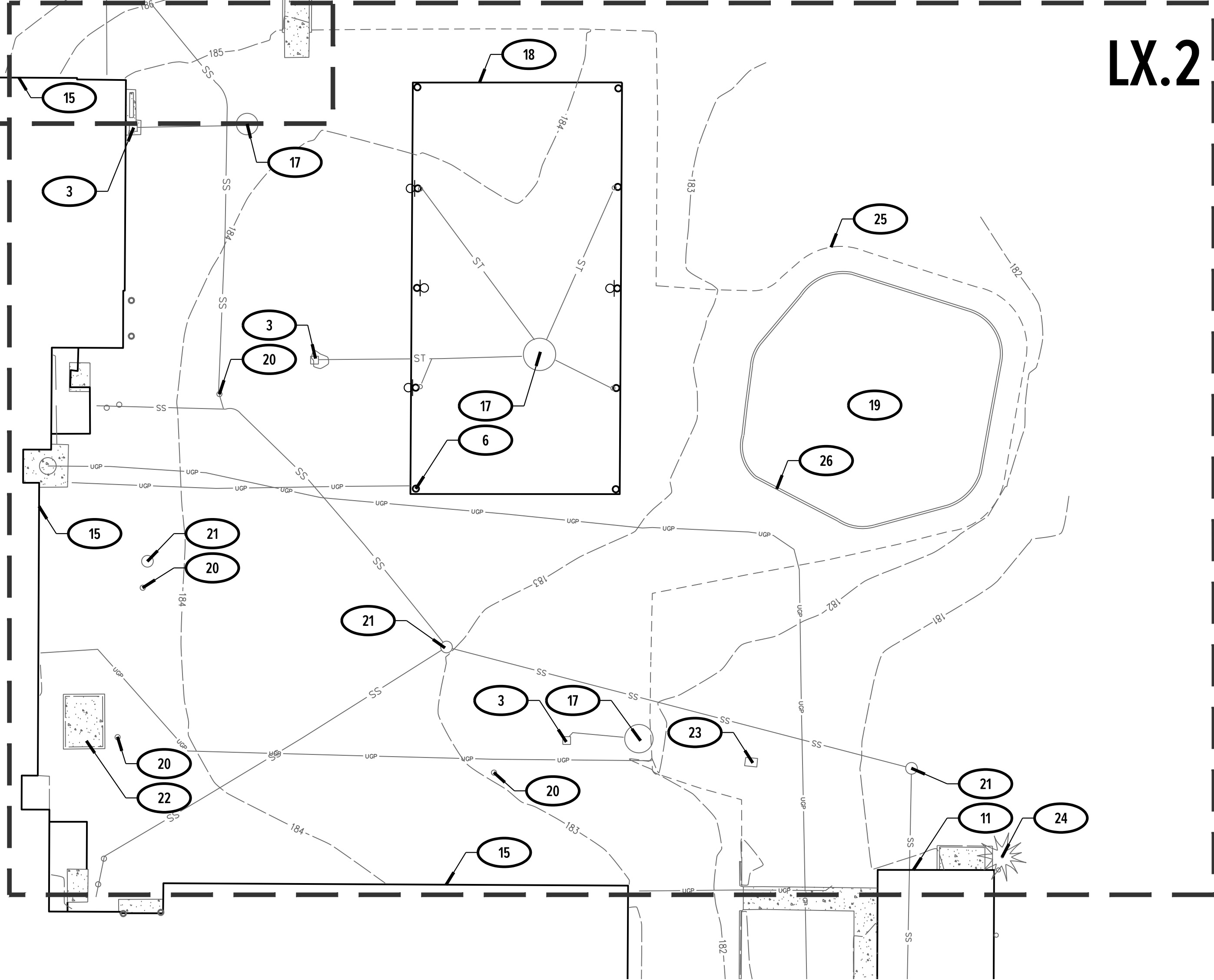
EXISTING CONDITION LEGEND

- OP OVERHEAD POWER LINE
- UGP UNDERGROUND POWER LINE
- ST STORM LINE
- W WATER LINE
- T PHONE LINE
- TV TV LINE
- SS SANITARY LINE
- 190 EXISTING CONTOUR

EXISTING CONDITION GENERAL NOTES

THIS PLAN IS BASED ON A SURVEY BY LAND COMPASS SURVEYORS, DATED APRIL 23, 2024, NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.

LX.2



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Estuary Partnership

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Portland, OR 97232

Rigler Stormwater Retrofits

Rigler Elementary School
5401 NE Prescott St
Portland, OR 97218



SHEET DESCRIPTION:
EXISTING CONDITION PLAN

SUBMITTAL:
BID SET
PROJECT:
RIGLER ELEMENTARY
STORMWATER RETROFIT

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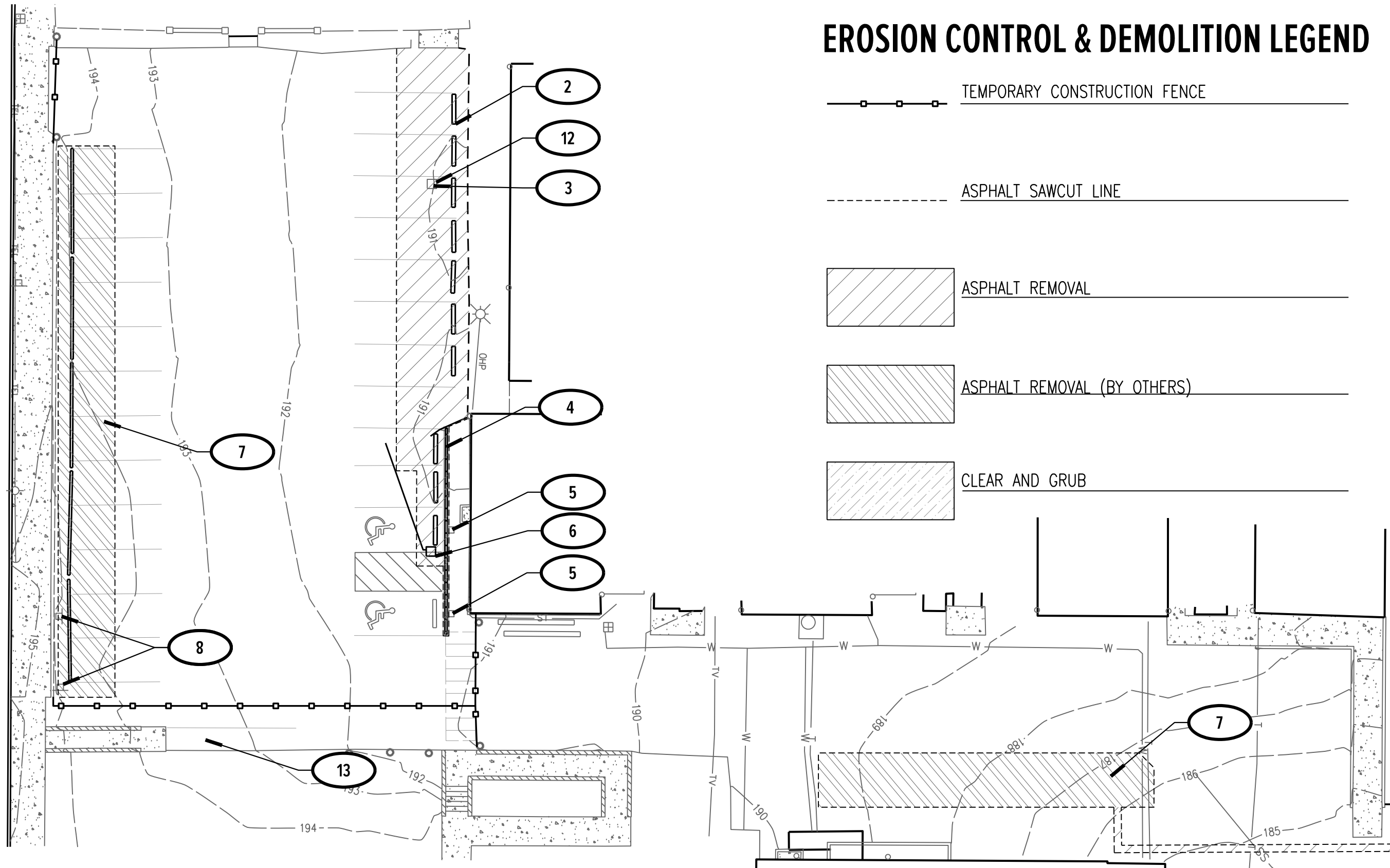
Revisions		
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E1

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Sheet 2 of 15

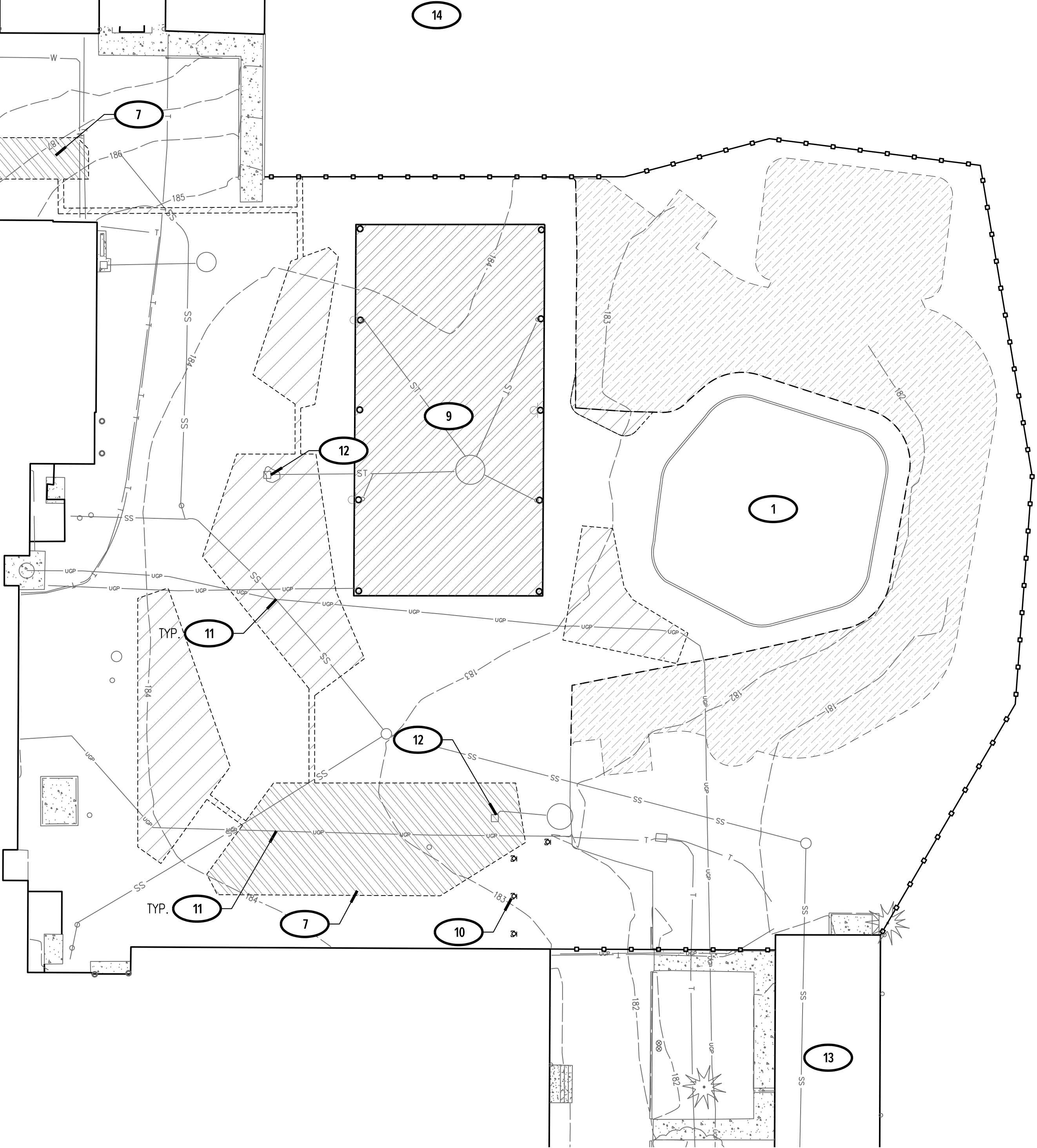
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NE PRESCOTT ST



EROSION CONTROL & DEMOLITION GENERAL NOTES

- APPROVAL OF THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION BEST MANAGEMENT PRACTICES [BMPS], OR UTILITIES).
- THE IMPLEMENTATION OF THIS ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP BMPS IS THE RESPONSIBILITY OF THE RESPONSIBLE PARTY UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED PERMANENT STABILIZATION IS ESTABLISHED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE RESPONSIBLE PARTY FOR THE DURATION OF CONSTRUCTION. EXCEEDING THE APPROVED LIMITS OF DISTURBANCE MAY RESULT IN ADDITIONAL PERMITTING REQUIREMENTS, PERMIT REVISIONS, STOP WORK ORDERS, OR OTHER ENFORCEMENT ACTIONS.
- THE ESPCP BMPS SHOWN ON THIS PLAN MUST BE CONSTRUCTED PER CITY STANDARDS AND MADE FUNCTIONAL PRIOR TO GROUND-DISTURBING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS. THE INITIAL CLEARING MUST BE THE MINIMUM REQUIRED TO INSTALL ESPCP BMPS.
- THE ESPCP BMPS SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP BMPS SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS OR SITE CONDITIONS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE. ADDITION AND REMOVAL OF BMPS SHOULD BE DOCUMENTED IN THE DAILY INSPECTION LOG AND, IN CASES OF ESPCP REVISION, ON THE REVISED ESPCP.
- FUELS, OILS, SOLVENTS, HAZARDOUS CHEMICALS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.
- OFFSITE RELEASE OF FUEL, OILS, SOLVENTS, HAZARDOUS CHEMICALS, SEDIMENT, TRASH, DEBRIS, OR OTHER SUBSTANCES RESULTING FROM CONSTRUCTION ACTIVITIES IS NOT ALLOWED. ALL SPILLS IN EXCESS OF REPORTABLE QUANTITIES SHALL BE REPORTED TO BUREAU OF ENVIRONMENTAL SPILL RESPONSE, 503-823-7180.
- SIGNAGE SHALL BE POSTED ON THE SITE OF THE PERMITTED GROUND-DISTURBING ACTIVITY THAT IDENTIFIES THE CITY'S EROSION CONTROL COMPLAINT HOTLINE NUMBER OR THE RESPONSIBLE CITY PROJECT MANAGER/INSPECTOR.
- BETWEEN OCTOBER 1 AND APRIL 30, ALL DENUDED SITES SHALL BE PROVIDED WITH TEMPORARY SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 2 DAYS AFTER GROUND-DISTURBING ACTIVITY OCCURS.
- BETWEEN MAY 1 AND SEPTEMBER 30, TEMPORARY EROSION AND SEDIMENT CONTROL BMPS TO REDUCE DUST AND SEDIMENT TRANSPORT SHALL BE APPLIED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS AFTER GROUND-DISTURBING ACTIVITY OCCURS.
- PROTECT ALL EXISTING INFRASTRUCTURE TO REMAIN AND REPAIR AT CONTRACTORS'S EXPENSE IF DAMAGED.



REFERENCE NOTES

- EXISTING PLAY EQUIPMENT AND PLAY TILES TO REMAIN. PRESERVE AND PROTECT IN PLACE.
- REMOVE EXISTING WHEEL STOPS AND DISPOSE OF OFF SITE.
- REMOVE EXISTING CATCH BASIN AND DISPOSE OF OFF SITE.
- REMOVE EXISTING TRENCH DRAIN AND DISPOSE OFF SITE.
- EXISTING SIGNAGE TO REMAIN. PRESERVE AND PROTECT IN PLACE.
- REMOVE CATCH BASIN AND DISPOSE OF OFF SITE. CAP PIPE-SEE DETAIL 7 SHEET D3.
- ASPHALT REMOVAL BY OTHERS. SEE SPECIFICATIONS FOR SOIL EXCAVATION
- REMOVE EXISTING SIGNPOST AND DISPOSE OF OFF SITE.
- EXISTING COVERED PLAY STRUCTURE TO REMAIN. PRESERVE AND PROTECT IN PLACE.
- REMOVE ASPHALT FOR BOLLARD INSTALLATION TYP.
- ALL EXISTING UNDERGROUND UTILITIES TO REMAIN. PRESERVE AND PROTECT IN PLACE. POT HOLE AND FIELD VERIFY PRIOR TO SOIL EXCAVATION.
- EXISTING INLET TO REMAIN. PRESERVE AND PROTECT IN PLACE. INLET PROTECTION, SEE DETAIL 6 SHEET D1.
- MAINTAIN ADA ACCESS TO SCHOOL
- SOIL STOCKPILE AREA



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Estuary Partnership

400 NE 11th Ave
Portland, OR 97232

Rigler Stormwater Retrofits

Rigler Elementary School
5401 NE Prescott St
Portland, OR 97218



SHEET DESCRIPTION:
**EROSION CONTROL &
DEMOLITION PLAN**

SUBMITTAL:
BID SET

PROJECT:
**RIGLER ELEMENTARY
STORMWATER RETROFIT**

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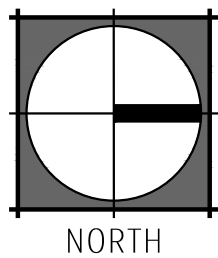
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Sheet **3** of **15**



0 10' 20' 40'

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400 NE 11th Ave
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Rigler Stormwater Retrofits

Rigler Elementary School
5401 NE Prescott St
Portland, OR 97218SHEET DESCRIPTION:
MATERIALS & GRADING PLANSUBMITTAL:
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0 5' 10' 20'

STORMWATER FACILITIES

	IMPERVIOUS AREA MANAGED	STORMWATER FACILITY SIZE
1	7,578 SF	630 SF
2	6,578 SF	594 SF
3	1,070 SF	310 SF

GENERAL NOTES

- BLEND ALL NEW ELEVATIONS BACK TO EXISTING GRADE TO CREATE A UNIFORM SLOPE. MAXIMUM SLOPE, 4:1, UNLESS OTHERWISE SHOWN.
- CONSTRUCT SMOOTH TRANSITION BETWEEN PAVING IMPROVEMENTS AND EXISTING PAVING TO REMAIN.
- SET TOP OF FLUSH CURBS TO GENERALLY FOLLOW THE EXISTING GRADE OF ADJACENT ASPHALT. ADJUST AS NEEDED TO AVOID CREATING LOW POINTS WHERE WATER COULD POND. MAINTAIN A CONSISTENT AND UNIFORM TOP-OF-CURB ELEVATION TO AVOID NOTICEABLE DIPS OR UNEVEN TRANSITIONS ALONG THE PERIMETER OF PLANTING AREAS AND STORMWATER FACILITIES.

SITE DETAIL KEYNOTES

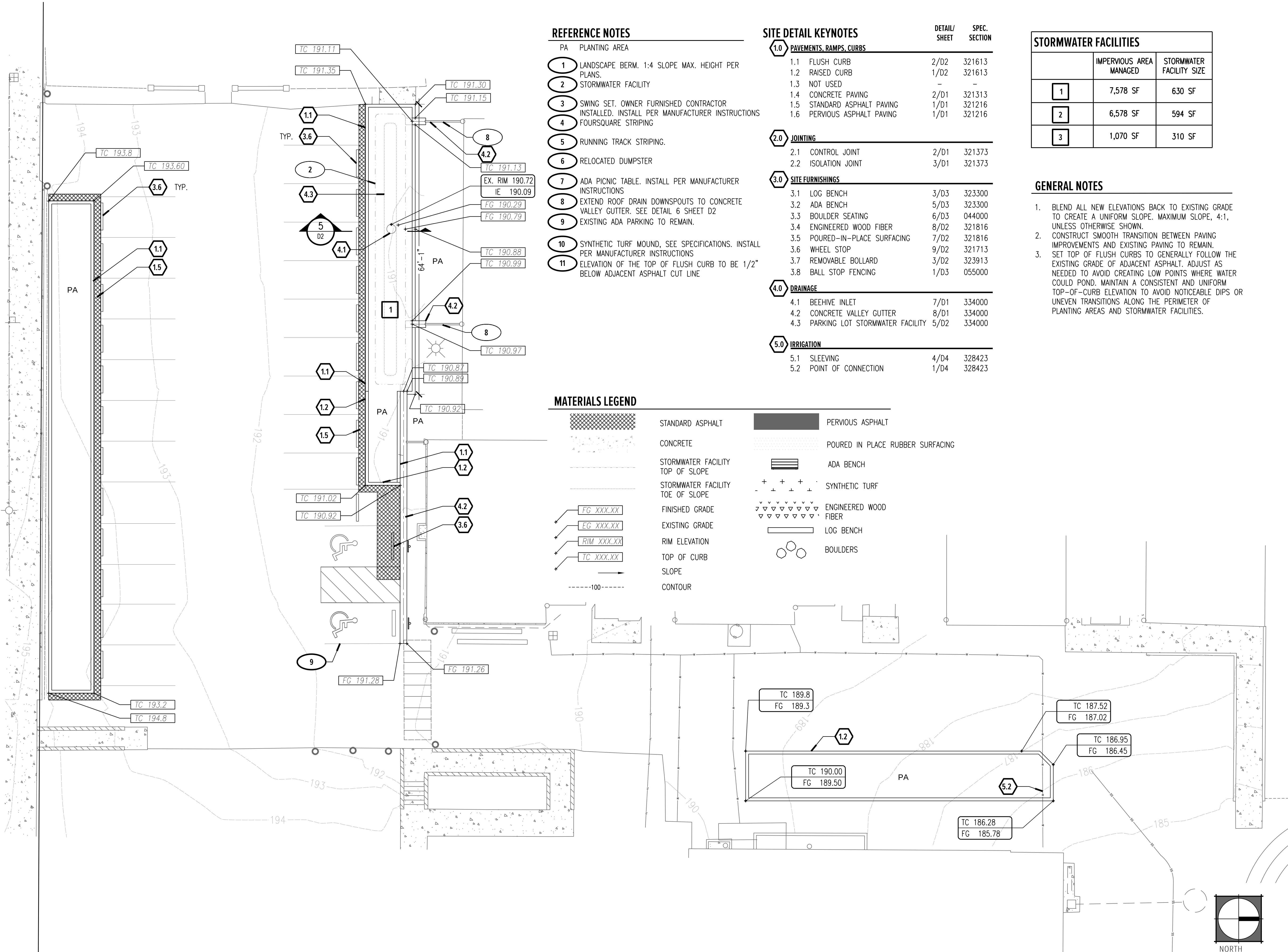
	DETAIL/ SHEET	SPEC. SECTION
1.0 PAVEMENTS, RAMPS, CURBS		
1.1 FLUSH CURB	2/D2	321613
1.2 RAISED CURB	1/D2	321613
1.3 NOT USED	—	—
1.4 CONCRETE PAVING	2/D1	321313
1.5 STANDARD ASPHALT PAVING	1/D1	321216
1.6 PERVIOUS ASPHALT PAVING	1/D1	321216
2.0 JOINTING		
2.1 CONTROL JOINT	2/D1	321373
2.2 ISOLATION JOINT	3/D1	321373
3.0 SITE FURNISHINGS		
3.1 LOG BENCH	3/D3	323300
3.2 ADA BENCH	5/D3	323300
3.3 BOULDER SEATING	6/D3	044000
3.4 ENGINEERED WOOD FIBER	8/D2	321816
3.5 POURED-IN-PLACE SURFACING	7/D2	321816
3.6 WHEEL STOP	9/D2	321713
3.7 REMOVABLE BOLLARD	3/D2	323913
3.8 BALL STOP FENCING	1/D3	055000
4.0 DRAINAGE		
4.1 BEEHIVE INLET	7/D1	334000
4.2 CONCRETE VALLEY GUTTER	8/D1	334000
4.3 PARKING LOT STORMWATER FACILITY	5/D2	334000
5.0 IRRIGATION		
5.1 SLEEVING	4/D4	328423
5.2 POINT OF CONNECTION	1/D4	328423

REFERENCE NOTES

- PA PLANTING AREA
- LANDSCAPE BERM. 1:4 SLOPE MAX. HEIGHT PER PLANS.
 - STORMWATER FACILITY
 - SWING SET. OWNER FURNISHED CONTRACTOR INSTALLED. INSTALL PER MANUFACTURER INSTRUCTIONS
 - FOURSQUARE STRIPING
 - RUNNING TRACK STRIPING.
 - RELOCATED DUMPSTER
 - ADA PICNIC TABLE. INSTALL PER MANUFACTURER INSTRUCTIONS
 - EXTEND ROOF DRAIN DOWNSPOUTS TO CONCRETE VALLEY GUTTER. SEE DETAIL 6 SHEET D2
 - EXISTING ADA PARKING TO REMAIN.
 - SYNTHETIC TURF MOUND, SEE SPECIFICATIONS. INSTALL PER MANUFACTURER INSTRUCTIONS
 - ELEVATION OF THE TOP OF FLUSH CURB TO BE 1/2" BELOW ADJACENT ASPHALT CUT LINE

MATERIALS LEGEND

	STANDARD ASPHALT		PERVIOUS ASPHALT
	CONCRETE		POURED IN PLACE RUBBER SURFACING
	STORMWATER FACILITY TOP OF SLOPE		ADA BENCH
	STORMWATER FACILITY TOE OF SLOPE		SYNTHETIC TURF
	FINISHED GRADE		ENGINEERED WOOD FIBER
	EXISTING GRADE		LOG BENCH
	RIM ELEVATION		BOULDERS
	TOP OF CURB		
	SLOPE		
	CONTOUR		





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Rigler Elementary School
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SHEET DESCRIPTION:
MATERIALS PLAN

SUBMITTAL:
BID SET

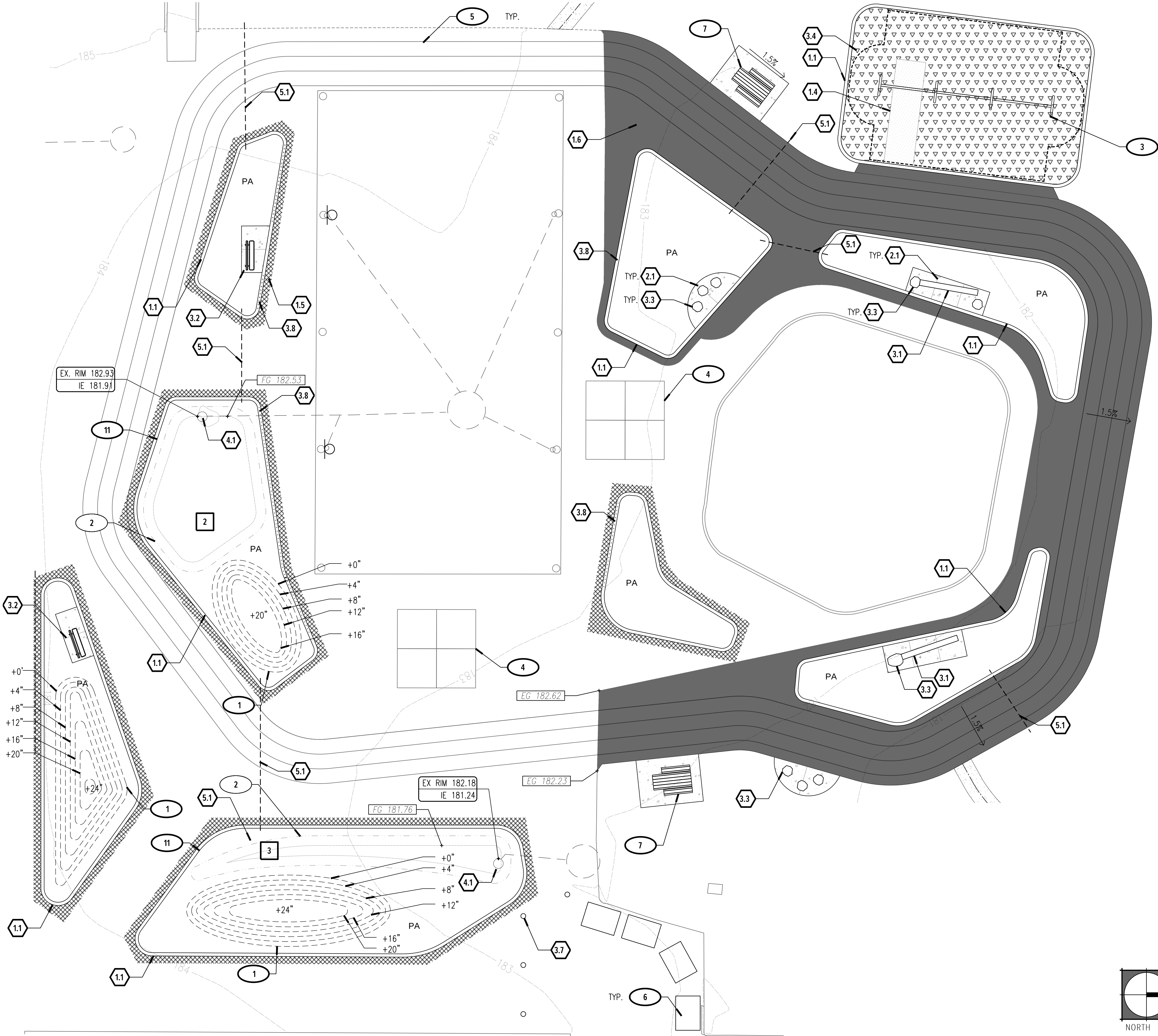
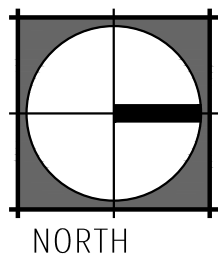
PROJECT:
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STORMWATER RETROFIT**

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MATERIALS REFERENCE NOTES

1 4' CRUSHED ROCK PATH
SEE DETAIL 6 SHEET D3

MATERIALS LEGEND

CRUSHED ROCK PATH

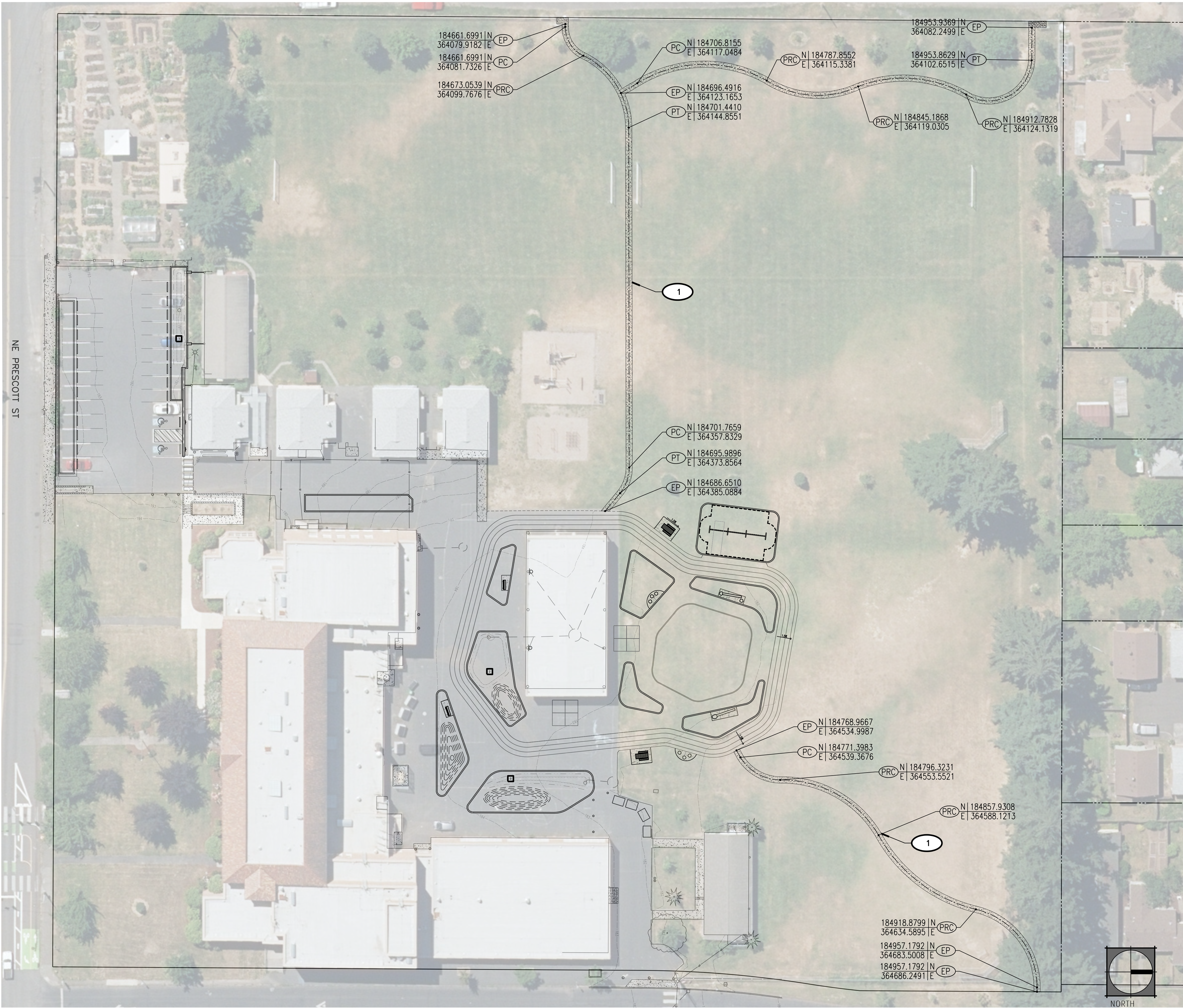
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E|1.6346 NORTHING AND EASTING

GENERAL NOTES

1. CONTRACTOR TO FLAG CENTERLINE OF TRAIL IN FIELD FOR VERIFICATION AND ADJUSTMENT BY LANDSCAPE ARCHITECT AS NECESSARY TO FIT SITE CONDITIONS

ABBREVIATIONS

CURVE INFORMATION:
EP = END POINT
PC = POINT OF CURVATURE
PRC = POINT OF REVERSE CURVATURE
PT = POINT OF TANGENCY



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SHEET DESCRIPTION:
**CRUSHED ROCK PATH
LAYOUT AND MATERIALS PLAN**

SUBMITTAL:
BID SET
PROJECT:
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STORMWATER RETROFIT**

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0 5' 10' 20'



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PORTLAND, OR 97239
(503) 715-5453

Estuary Partnership
400 NE 11th Ave
Portland, OR 97232

Rigler Stormwater Retrofits
Rigler Elementary School
5401 NE Prescott St
Portland, OR 97218



SHEET DESCRIPTION:
LAYOUT PLAN

SUBMITTAL:
BID SET

PROJECT:
**RIGLER ELEMENTARY
STORMWATER RETROFIT**

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Revisions		
No.	Revision	Date

L2.1

Scale: **1"=10'-0" @ 22"X34"**
Date: **04.11.2025**
Drawn by: **JW**
Checked by: **DE**
Sheet **7** of **15**

GENERAL NOTES

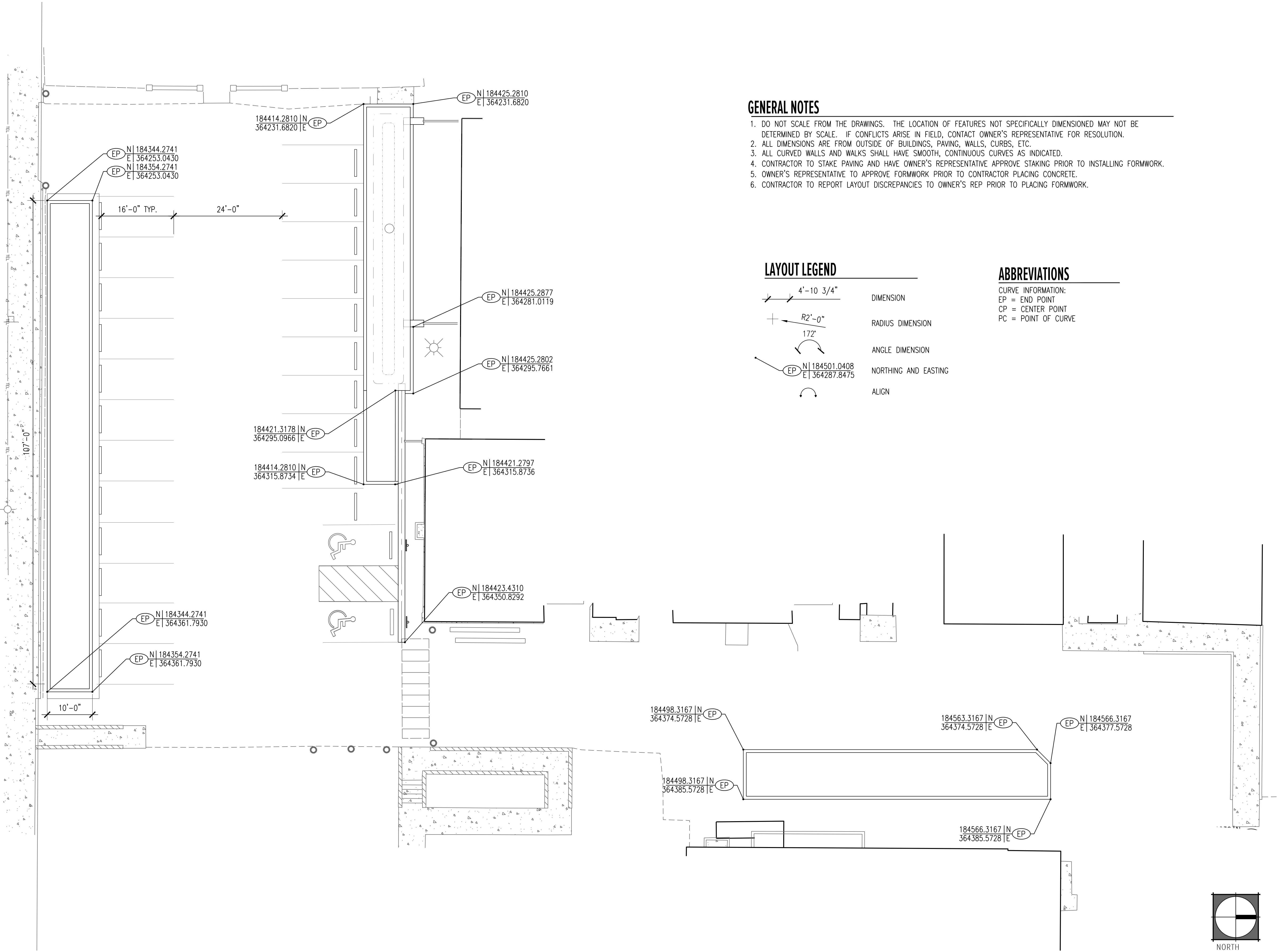
- DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN FIELD, CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION.
- ALL DIMENSIONS ARE FROM OUTSIDE OF BUILDINGS, PAVING, WALLS, CURBS, ETC.
- ALL CURVED WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED.
- CONTRACTOR TO STAKE PAVING AND HAVE OWNER'S REPRESENTATIVE APPROVE STAKING PRIOR TO INSTALLING FORMWORK.
- OWNER'S REPRESENTATIVE TO APPROVE FORMWORK PRIOR TO CONTRACTOR PLACING CONCRETE.
- CONTRACTOR TO REPORT LAYOUT DISCREPANCIES TO OWNER'S REP PRIOR TO PLACING FORMWORK.

LAYOUT LEGEND

- 4'-10 3/4" DIMENSION
- R2'-0" RADIUS DIMENSION
- 172° ANGLE DIMENSION
- EP N 184501.0408 E 364287.8475 NORTHING AND EASTING
- ALIGN

ABBREVIATIONS

CURVE INFORMATION:
EP = END POINT
CP = CENTER POINT
PC = POINT OF CURVE



LAYOUT LEGEND

4'-10 3/4"

DIMENSION

R2'-0"

RADIUS DIMENSION

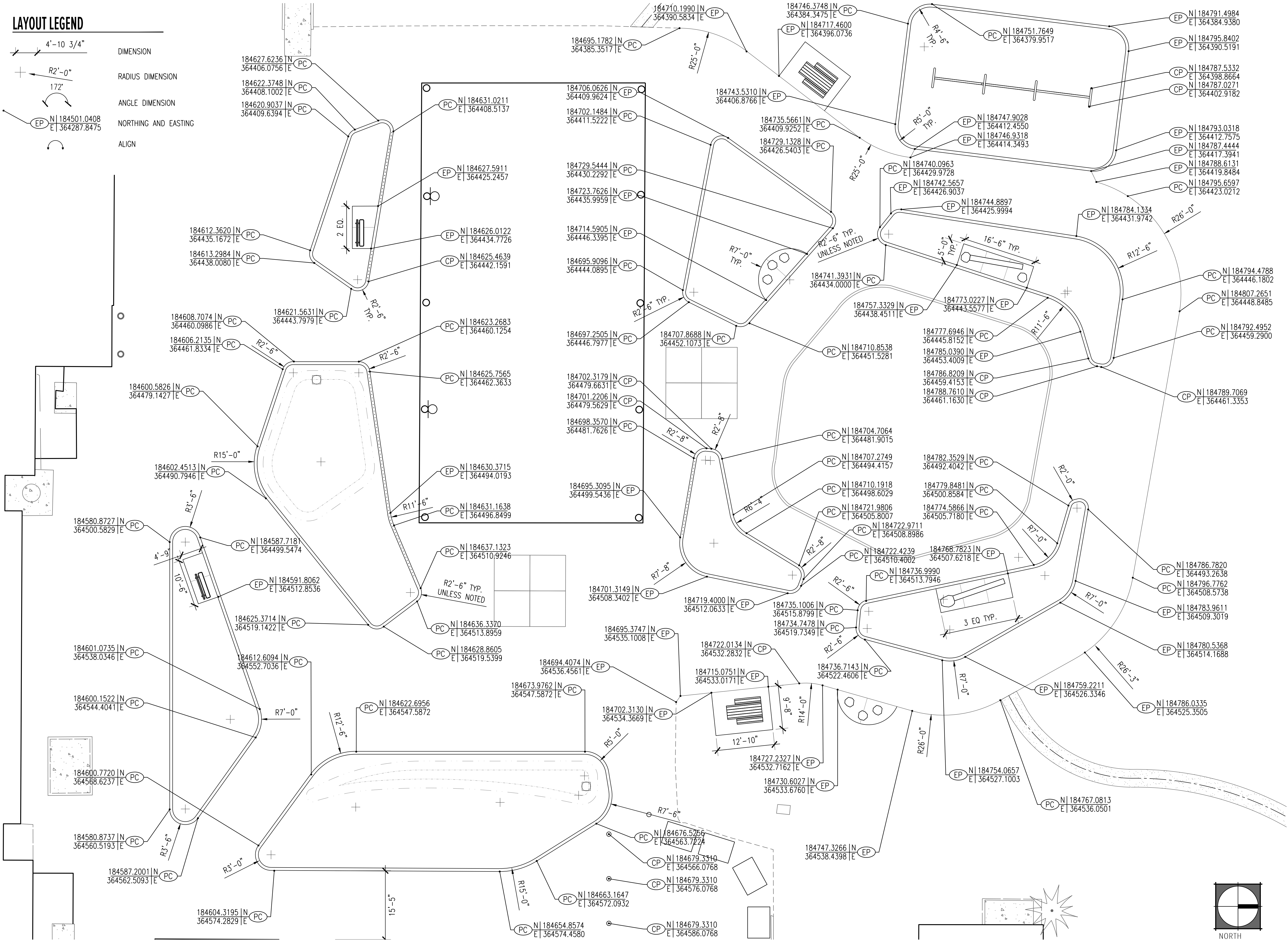
172°

ANGLE DIMENSION

EP N| 184501.0408
E| 364287.8475

NORTHING AND EASTING

ALIGN



5200 S MACADAM AVE., SUITE 210
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Revisions		
No.	Revision	Date

L2.2

Scale: 1"=10'-0" @ 22"X34"

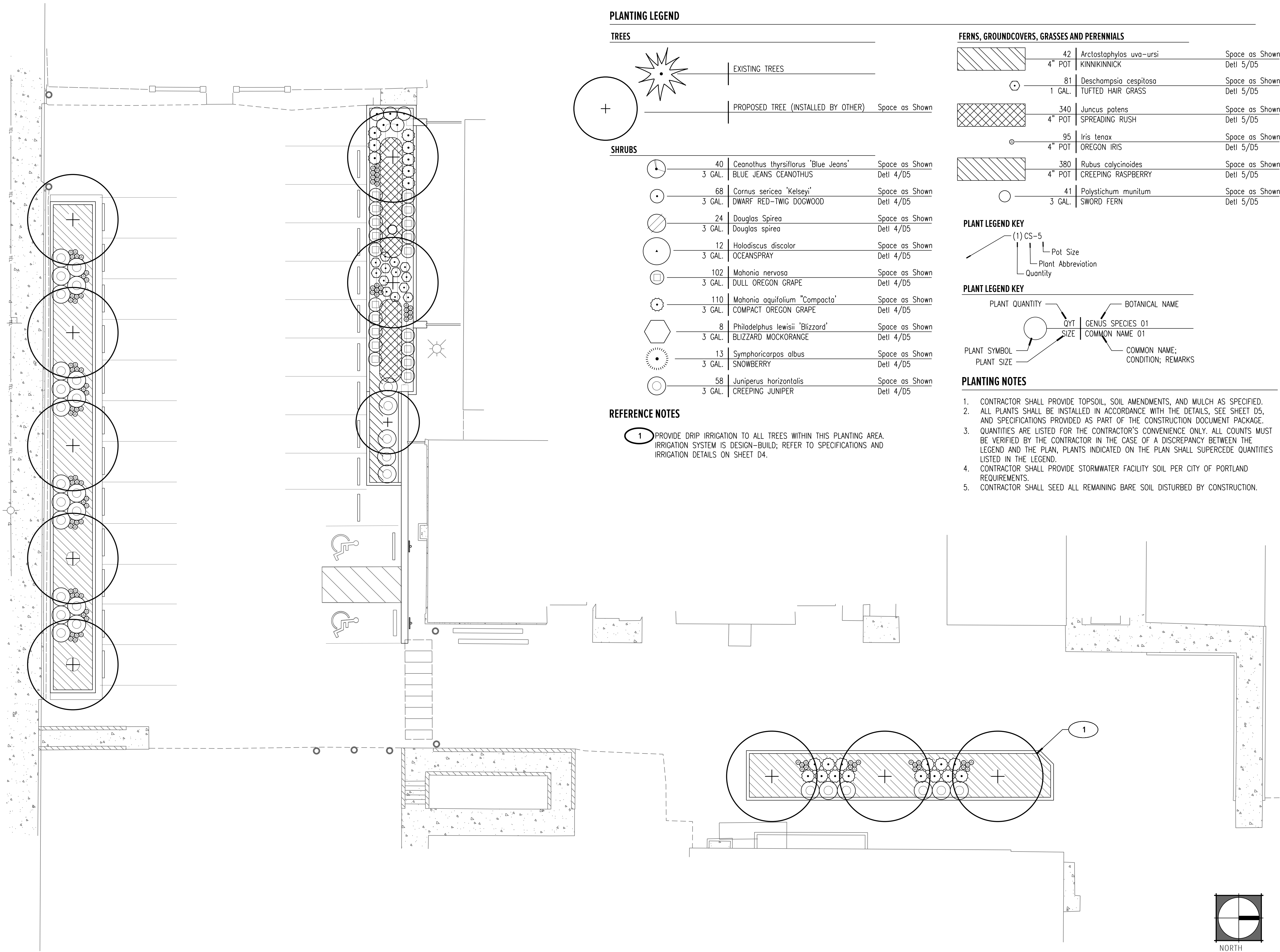
Date: 04.11.2025

Drawn by: JW

Checked by: DE

Sheet 8 of 15

0 5' 10' 20'



PLANTING LEGEND

TREES

	EXISTING TREES	
	PROPOSED TREE (INSTALLED BY OTHER)	Space as Shown

SHRUBS

	40	Ceanothus thyrsiflorus 'Blue Jeans'	Space as Shown
	3 GAL.	BLUE JEANS CEANOTHUS	Detl 4/D5
	68	Cornus sericea 'Kelsey'	Space as Shown
	3 GAL.	DWARF RED-TWIG DOGWOOD	Detl 4/D5
	24	Douglas Spirea	Space as Shown
	3 GAL.	Douglas spirea	Detl 4/D5
	12	Holodiscus discolor	Space as Shown
	3 GAL.	OCEANSPRAY	Detl 4/D5
	102	Mahonia nervosa	Space as Shown
	3 GAL.	DULL OREGON GRAPE	Detl 4/D5
	110	Mahonia aquifolium "Compacta"	Space as Shown
	3 GAL.	COMPACT OREGON GRAPE	Detl 4/D5
	8	Philadelphus lewisii 'Blizzard'	Space as Shown
	3 GAL.	BLIZZARD MOCKORANGE	Detl 4/D5
	13	Symphoricarpos albus	Space as Shown
	3 GAL.	SNOWBERRY	Detl 4/D5
	58	Juniperus horizontalis	Space as Shown
	3 GAL.	CREeping JUNIPER	Detl 4/D5

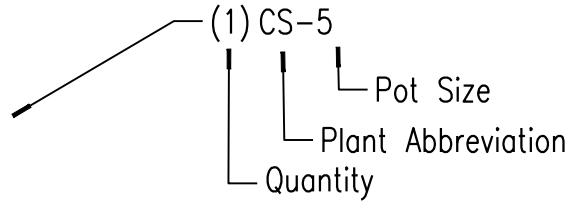
REFERENCE NOTES

- 1 PROVIDE DRIP IRRIGATION TO ALL TREES WITHIN THIS PLANTING AREA. IRRIGATION SYSTEM IS DESIGN-BUILD; REFER TO SPECIFICATIONS AND IRRIGATION DETAILS ON SHEET D4.

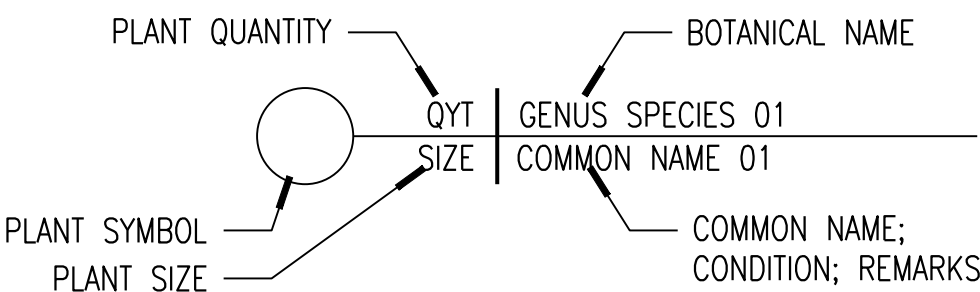
FERNS, GROUNDCOVERS, GRASSES AND PERENNIALS

	42	Arctostaphylos uva-ursi	Space as Shown
	4" POT	KINNIKINNICK	Detl 5/D5
	81	Deschampsia cespitosa	Space as Shown
	1 GAL.	TUFTED HAIR GRASS	Detl 5/D5
	340	Juncus patens	Space as Shown
	4" POT	SPREADING RUSH	Detl 5/D5
	95	Iris tenax	Space as Shown
	4" POT	OREGON IRIS	Detl 5/D5
	380	Rubus calycinoides	Space as Shown
	4" POT	CREeping RASPBERRY	Detl 5/D5
	41	Polystichum munitum	Space as Shown
	3 GAL.	SWORD FERN	Detl 5/D5

PLANT LEGEND KEY



PLANT LEGEND KEY



PLANTING NOTES

- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND MULCH AS SPECIFIED.
- ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, SEE SHEET D5, AND SPECIFICATIONS PROVIDED AS PART OF THE CONSTRUCTION DOCUMENT PACKAGE.
- QUANTITIES ARE LISTED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED BY THE CONTRACTOR IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE LEGEND.
- CONTRACTOR SHALL PROVIDE STORMWATER FACILITY SOIL PER CITY OF PORTLAND REQUIREMENTS.
- CONTRACTOR SHALL SEED ALL REMAINING BARE SOIL DISTURBED BY CONSTRUCTION.



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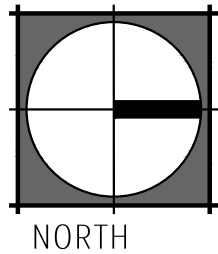
PROJECT:
**RIGLER ELEMENTARY
STORMWATER RETROFIT**

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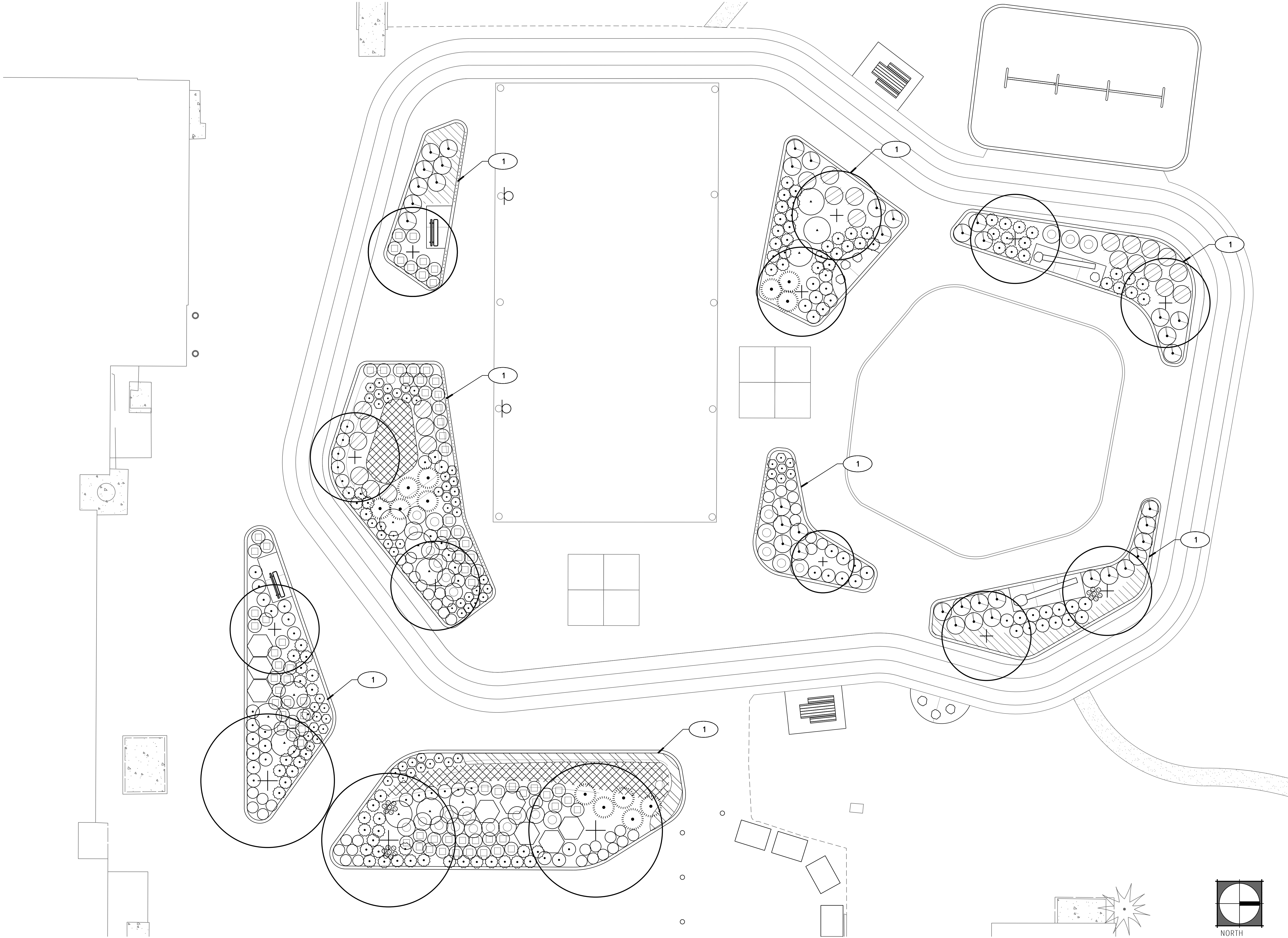
Revisions		
No.	Revision	Date

L3.1

Scale: **1"=10'-0" @ 22"X34"**
Date: **04.11.2025**
Drawn by: **JW**
Checked by: **DE**
Sheet **9** of **15**



0 5' 10' 20'



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Revisions		
No.	Revision	Date

L3.2

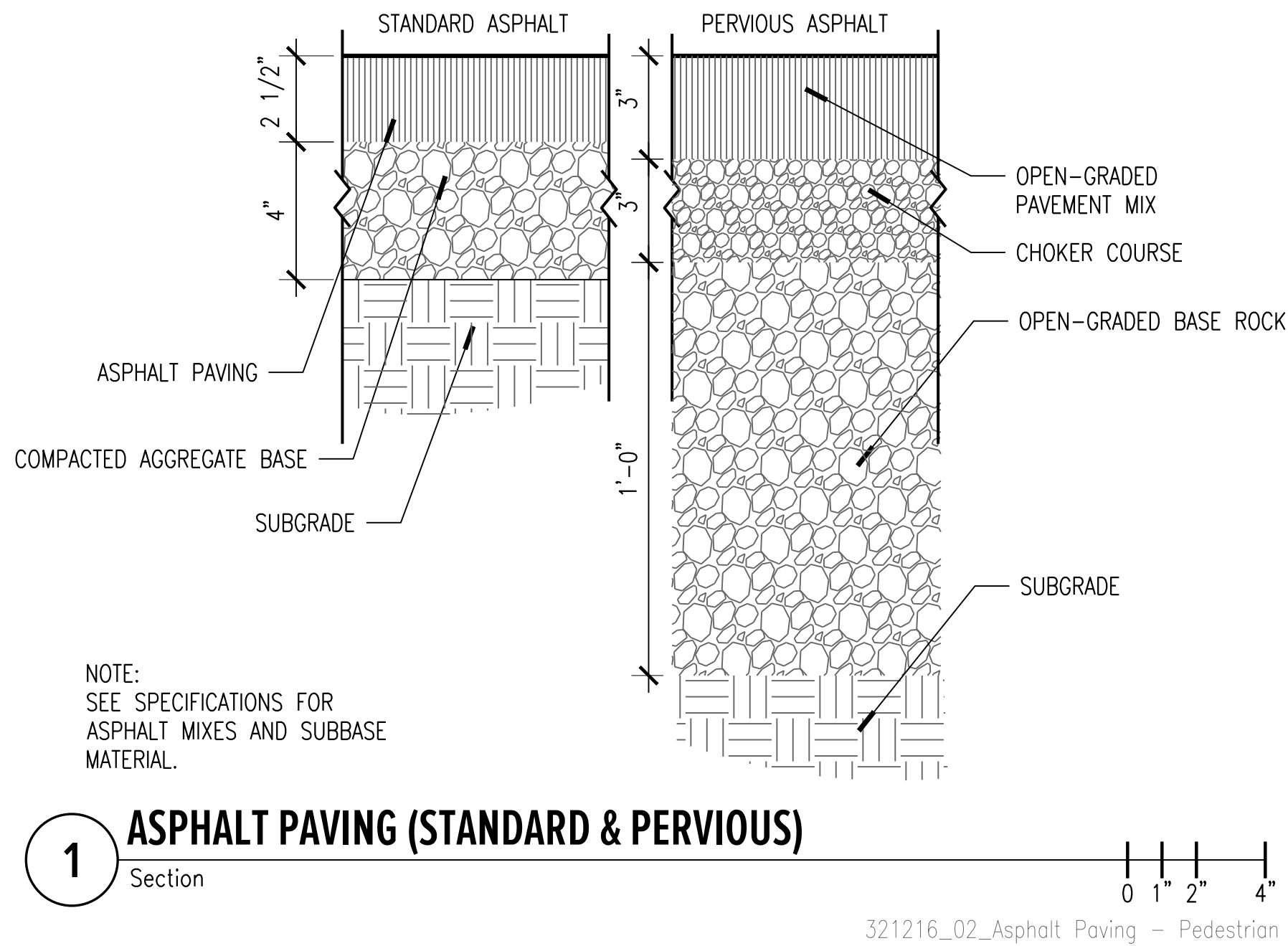
Scale: **1"=10'-0" @ 22"X34"**
Date: **04.11.2025**
Drawn by: **JW**
Checked by: **DE**
Sheet **10** of **15**

0 5' 10' 20'

Revisions		
No.	Revision	Date

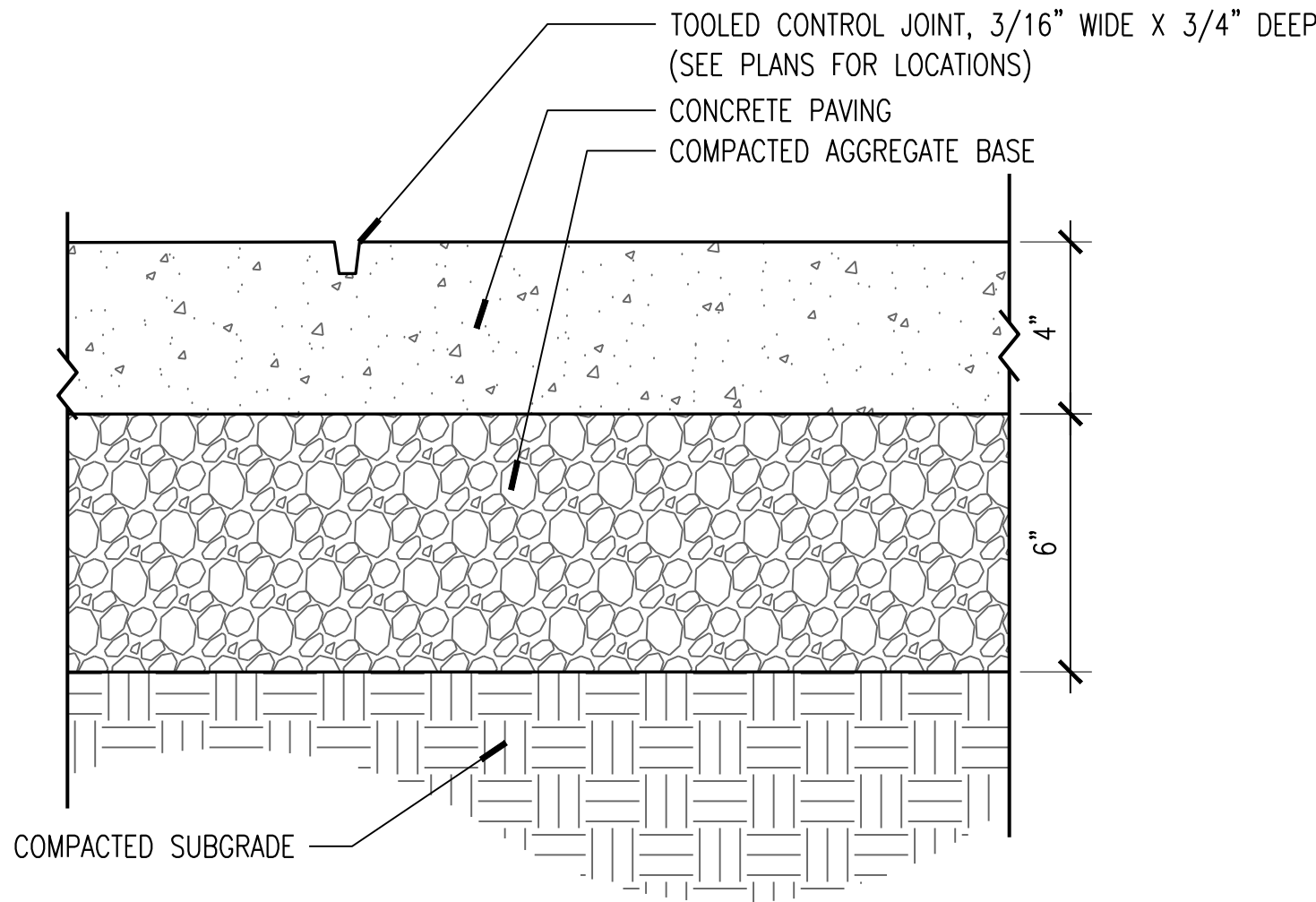
D1

Scale: VARIES
Date: 04.11.2025
Drawn by: JW
Checked by: DE
Sheet 11 of 15



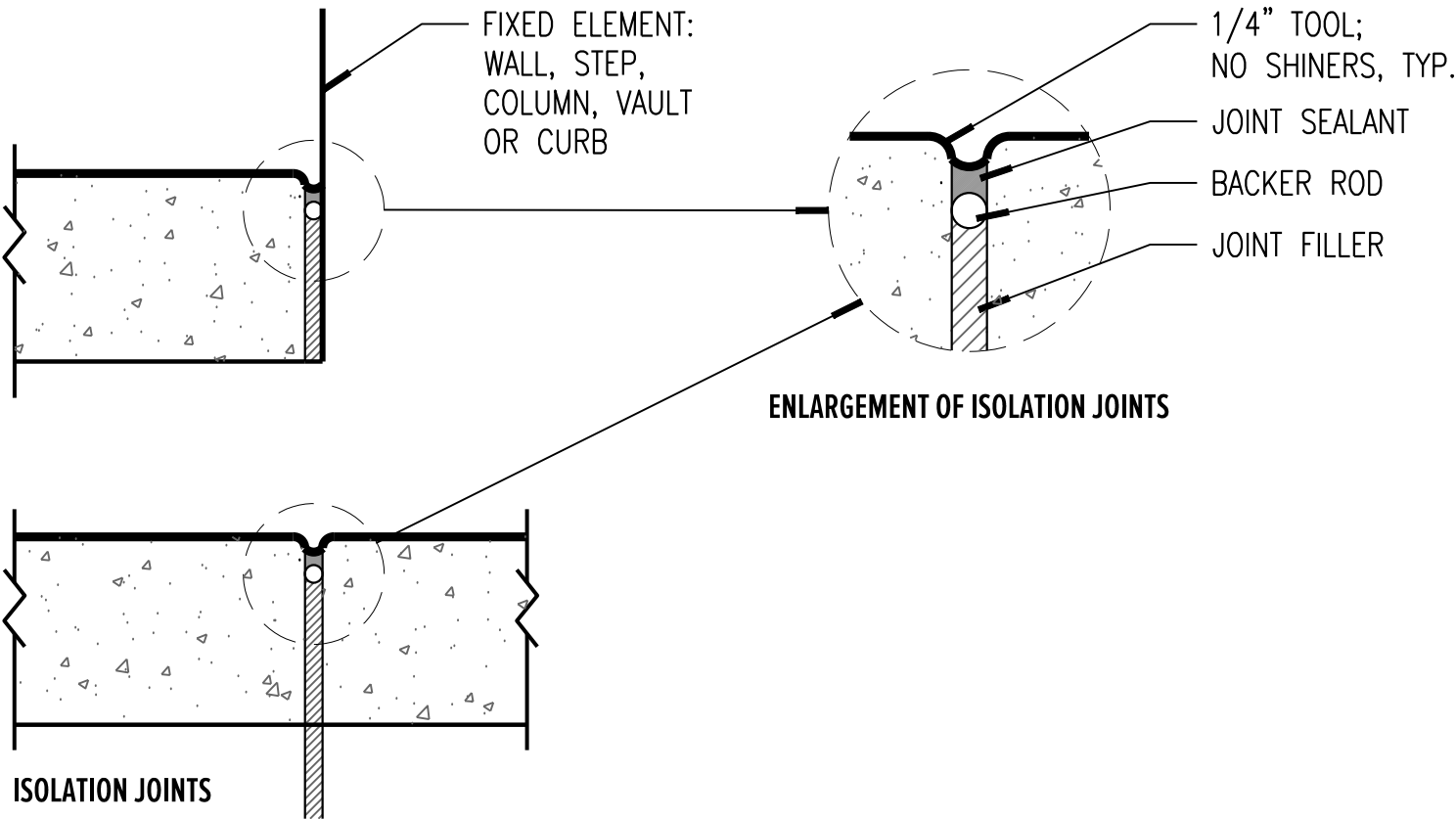
1 ASPHALT PAVING (STANDARD & PERVIOUS)
Section

321216_02_Aspphalt Paving – Pedestrian



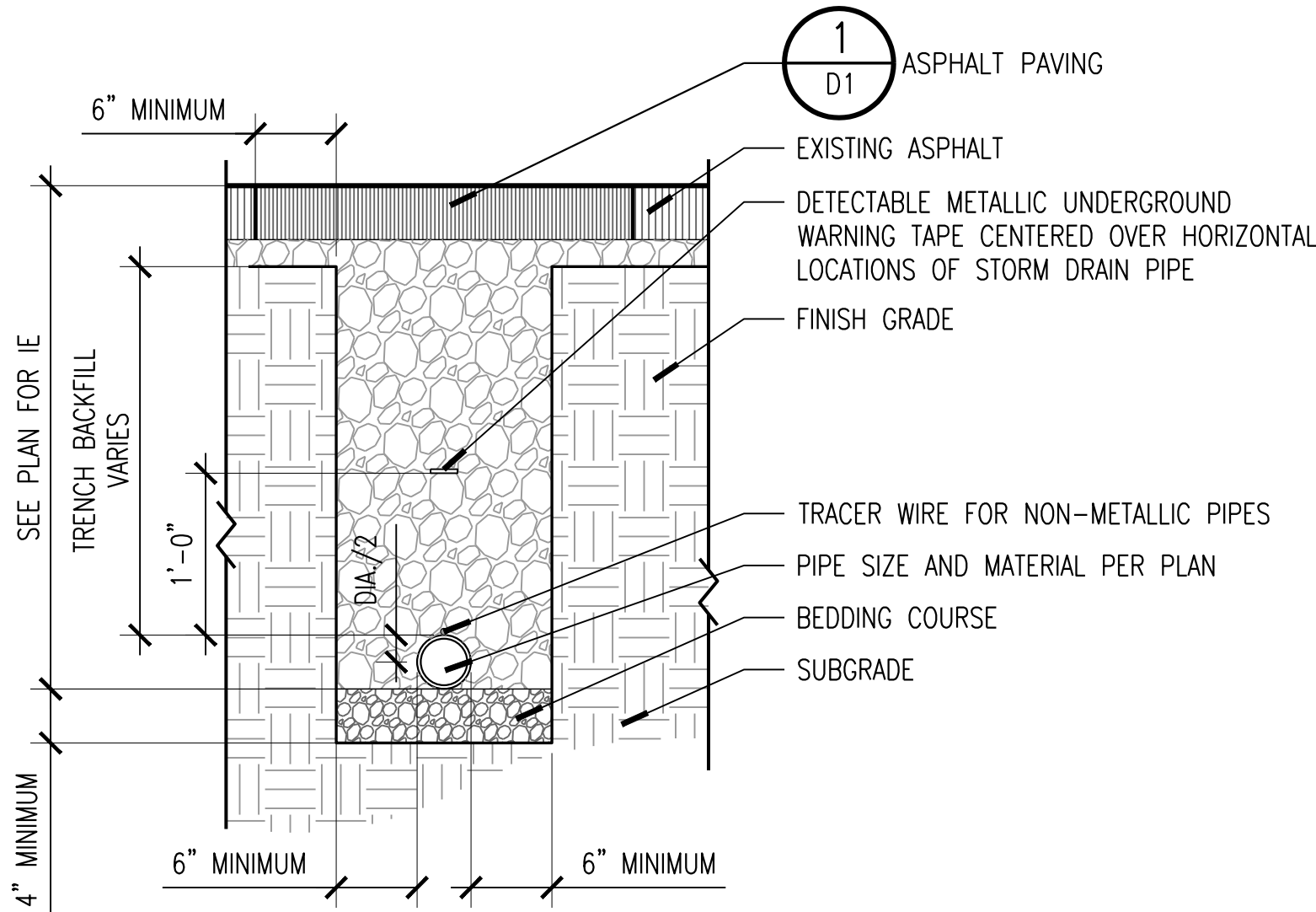
2 CONCRETE PAVING
Section

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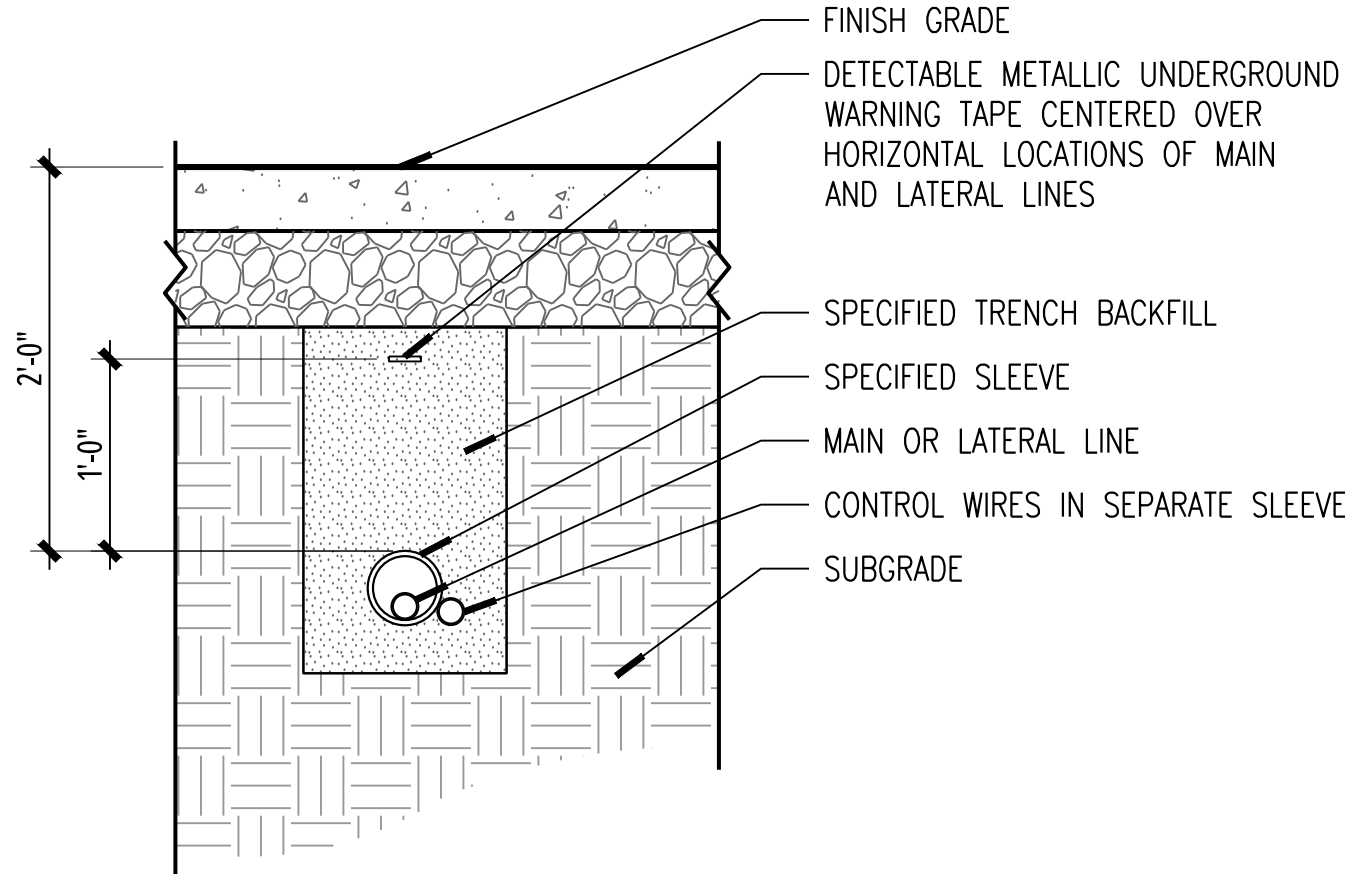
3 ISOLATION JOINT
Section

321373_02_Isolation Joint



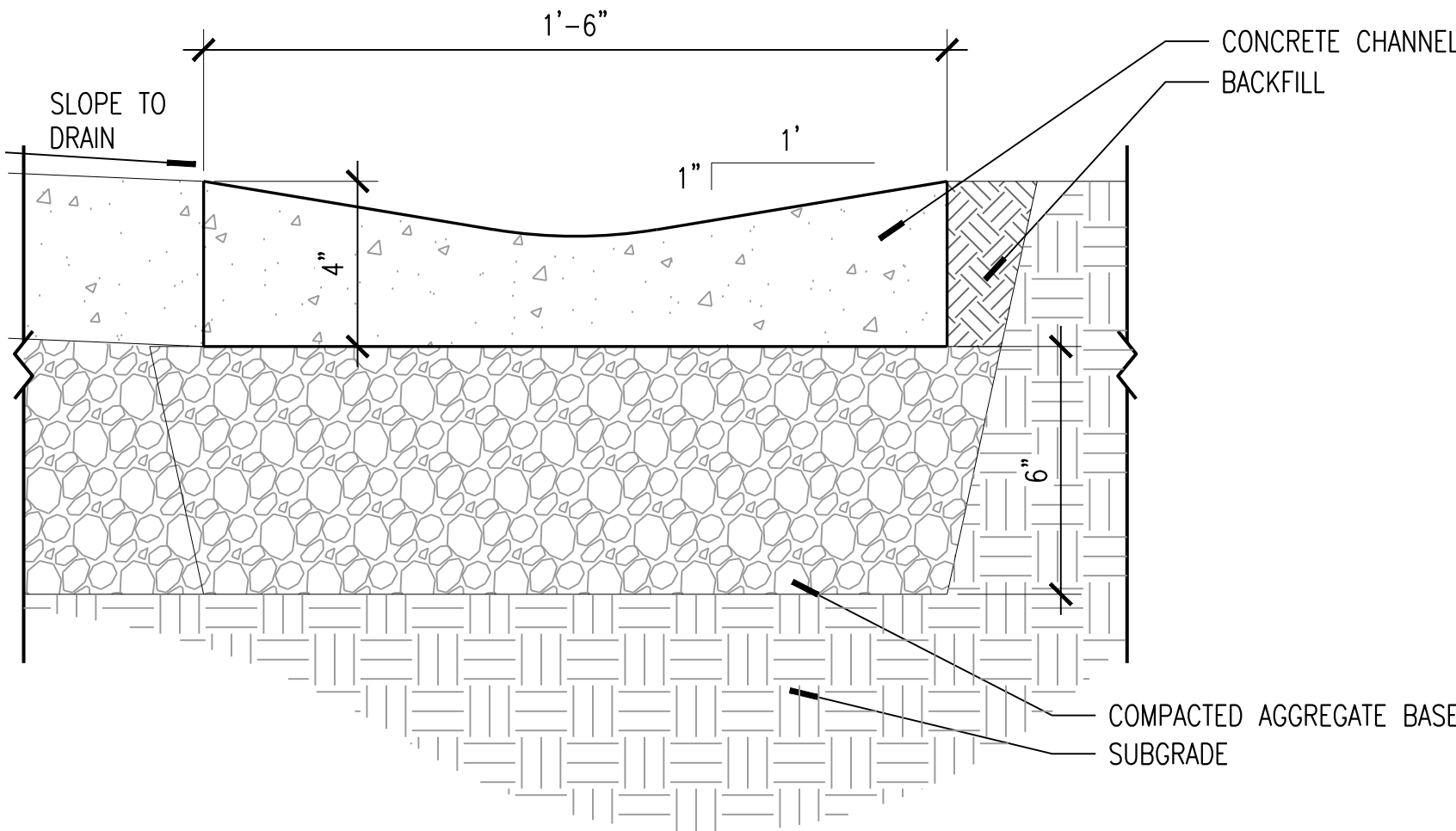
5 TYPICAL TRENCHING
Section

328000_01_Typical Trenching



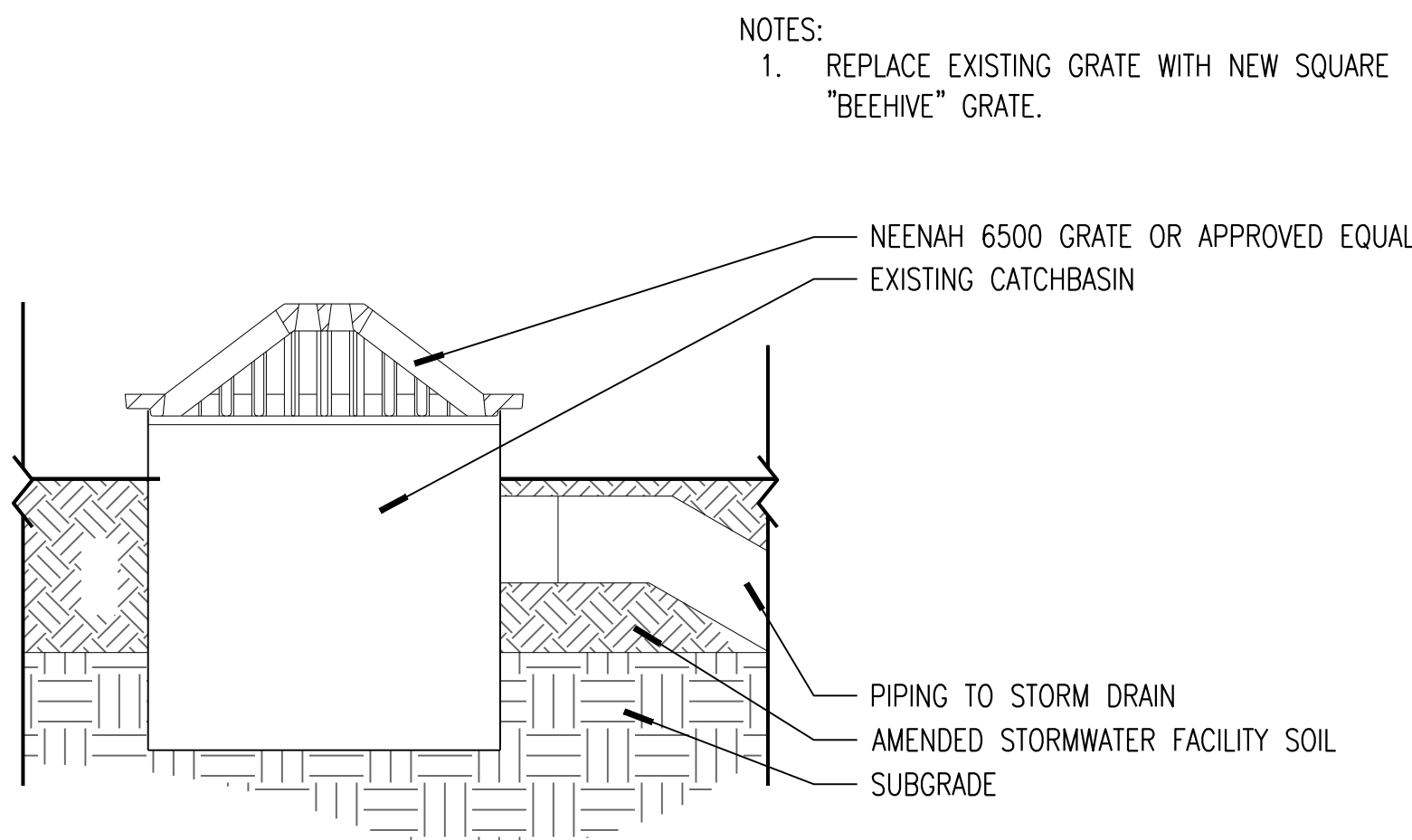
4 SLEEVING
Section

328000_03_Sleeving



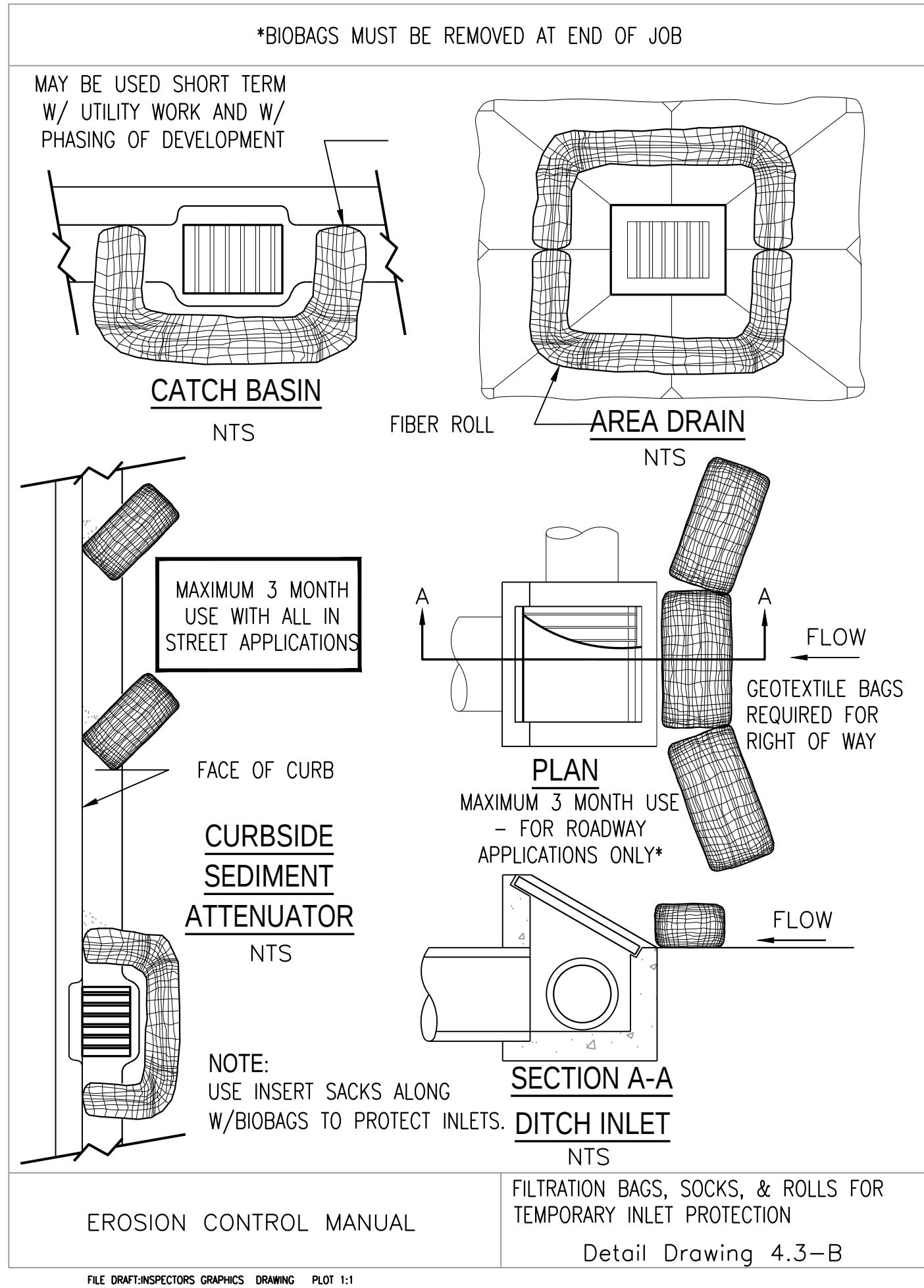
8 CONCRETE VALLEY GUTTER
Section

321200_Play Surfacing



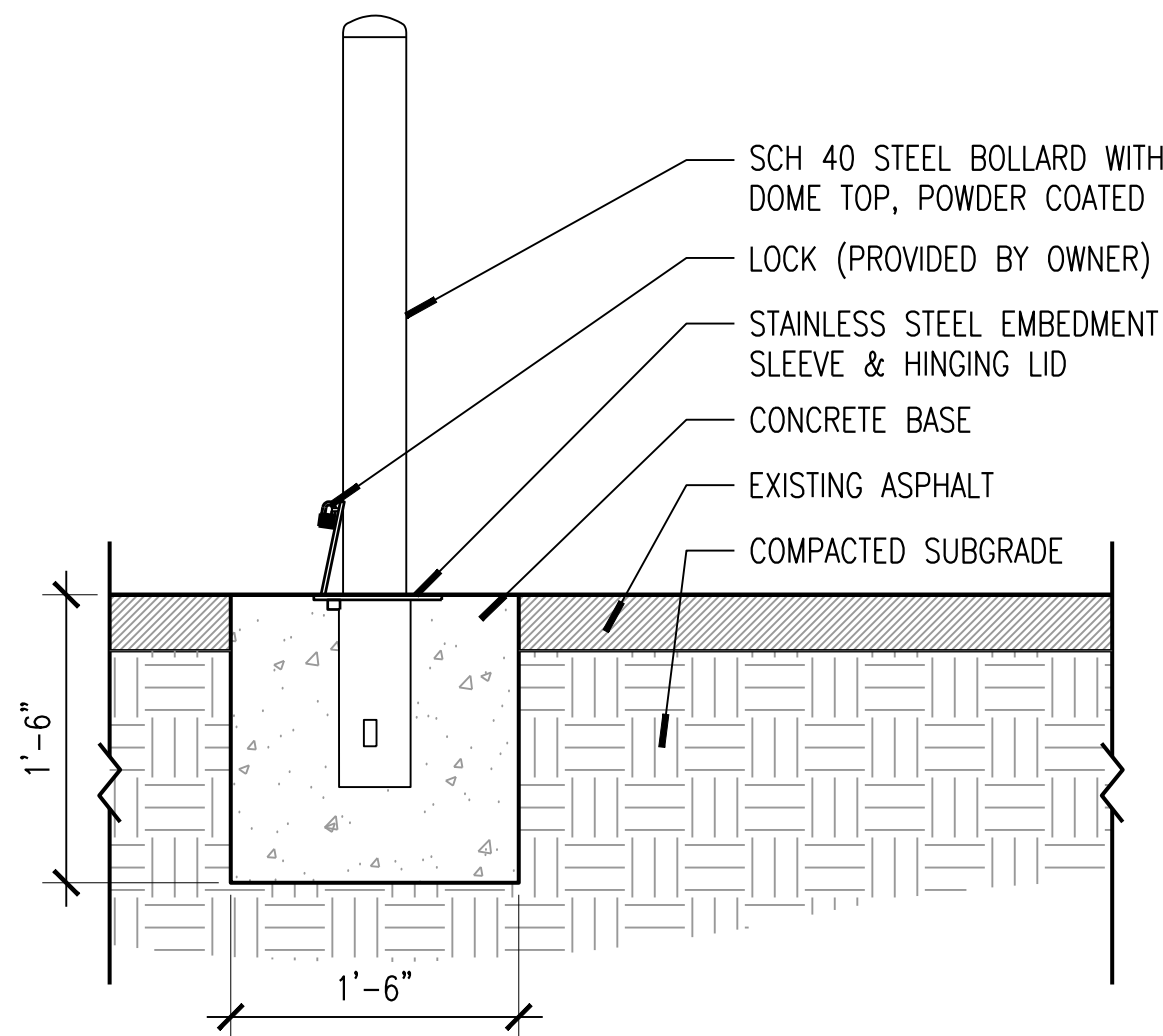
7 BEEHIVE INLET
Section

324000_01



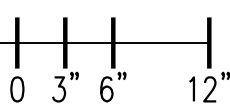
6 FILTRATION BAGS, SOCKS AND ROLLS
Section

321200_01_Inlet Protection

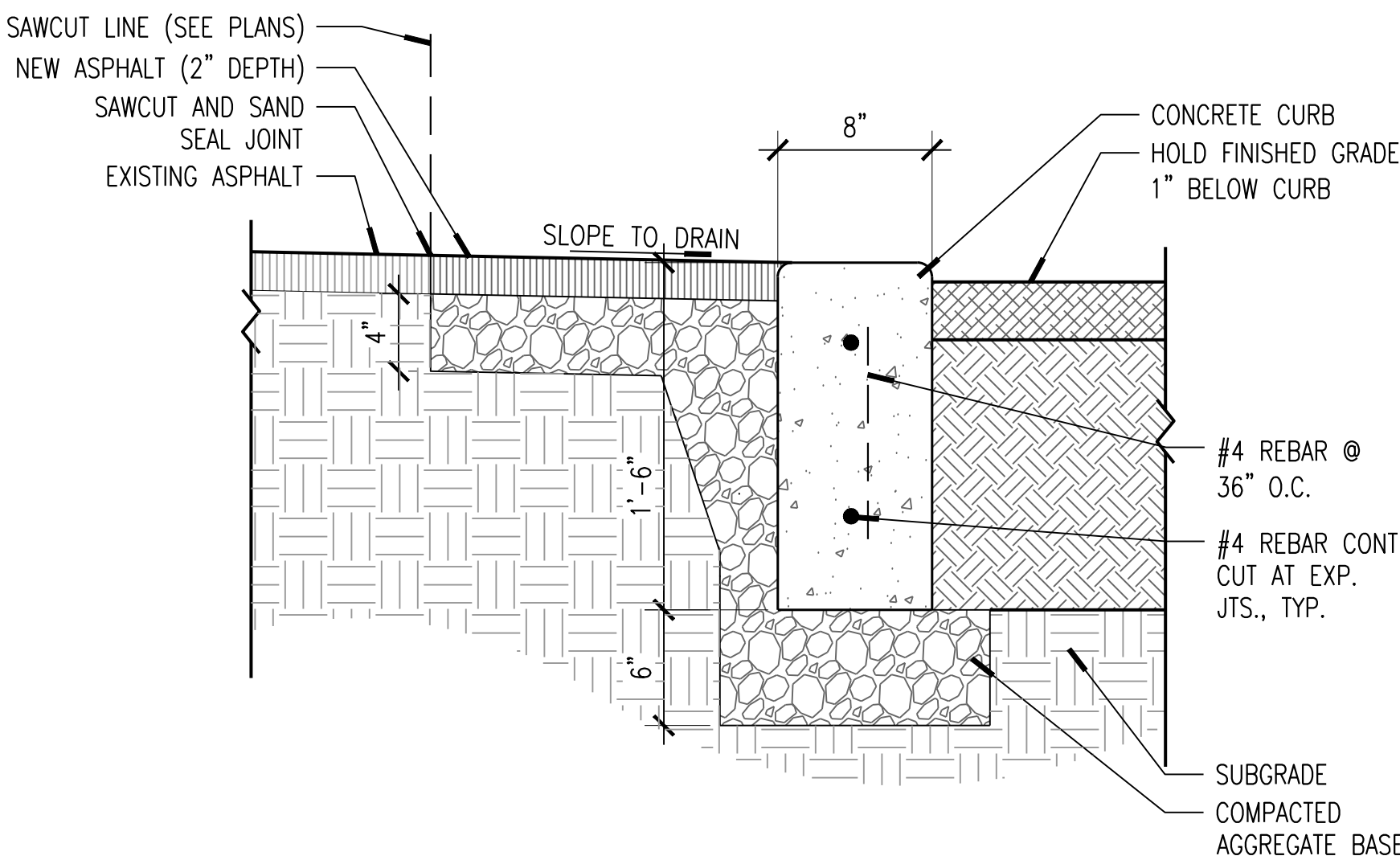


3 REMOVABLE BOLLARD

Section

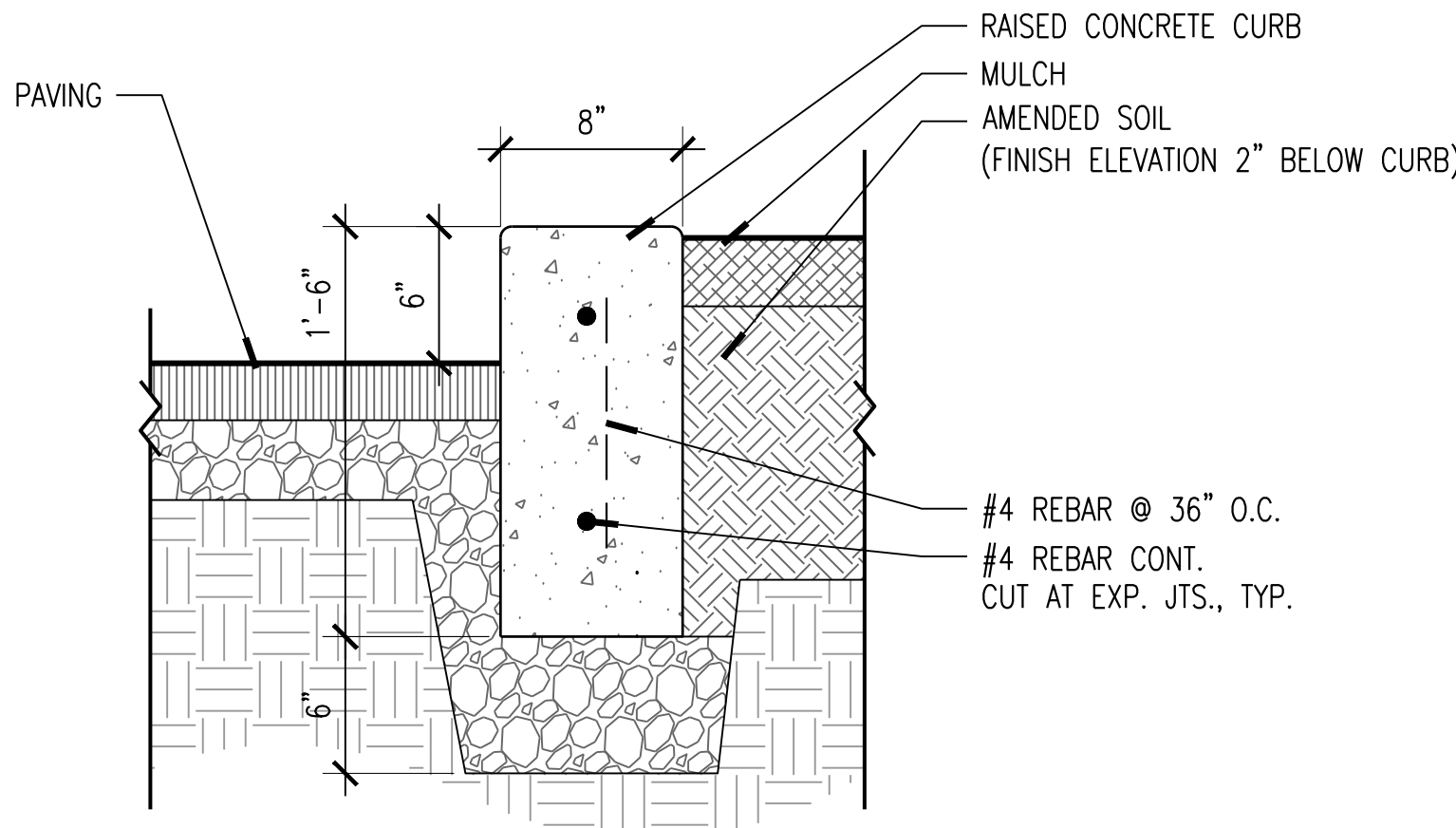
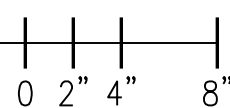


323913_01_Removable Steel Bollard



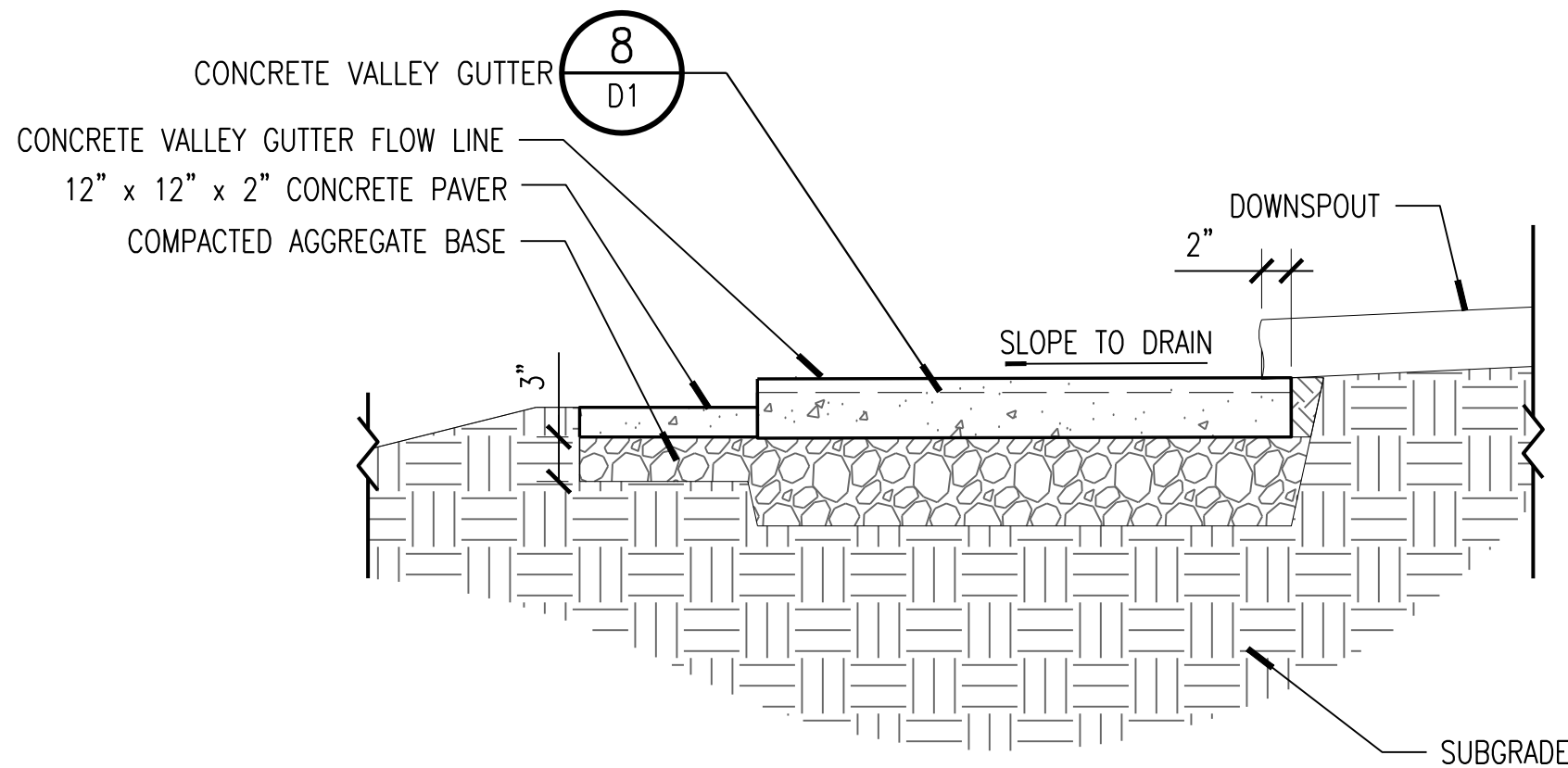
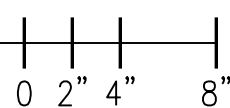
2 FLUSH CURB

Section



1 RAISED CURB

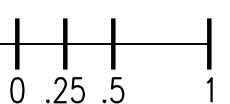
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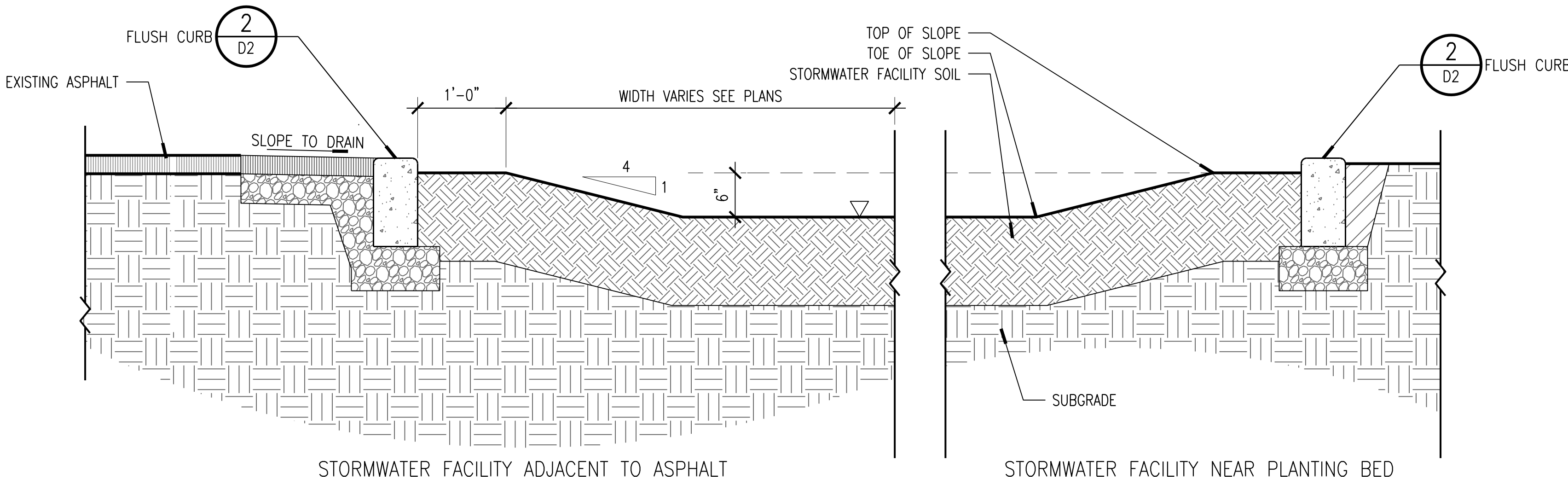
NOTE:
ALIGN CENTER OF DOWNSPOUT WITH FLOW LINE
OF CONCRETE VALLEY GUTTER.

6 DOWNSPOUT

Section

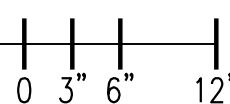


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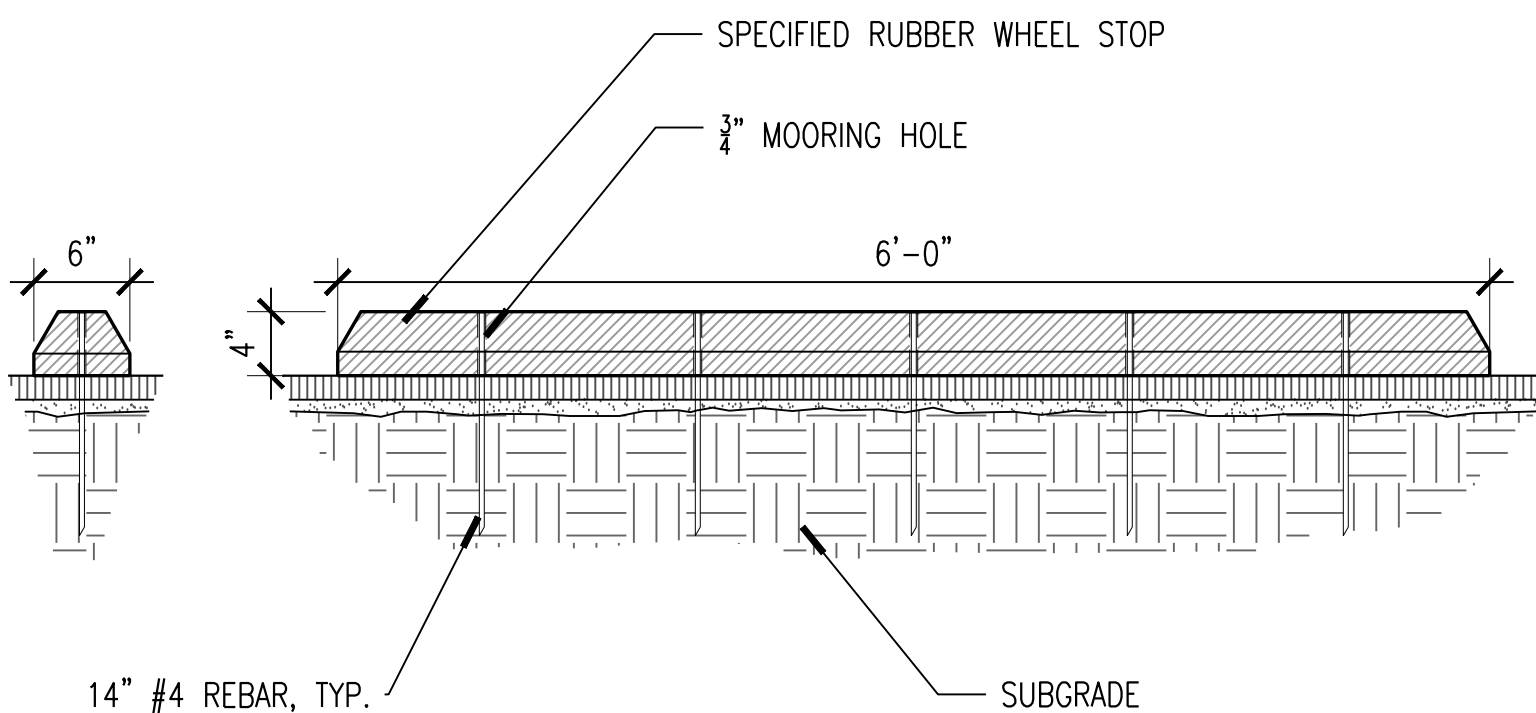


5 STORMWATER FACILITY

Section

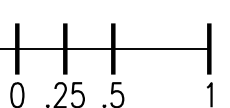


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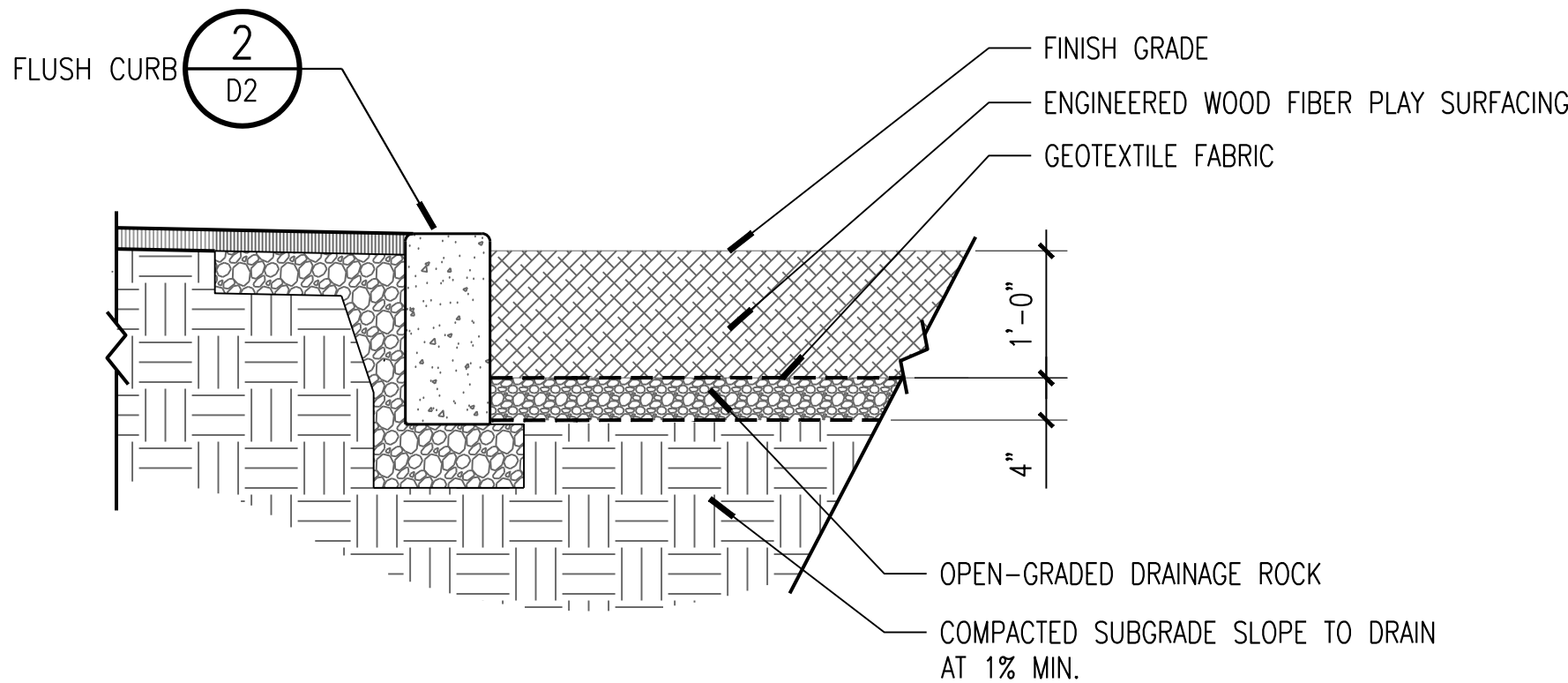


9 WHEEL STOP

Section

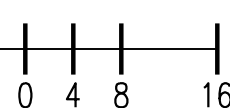


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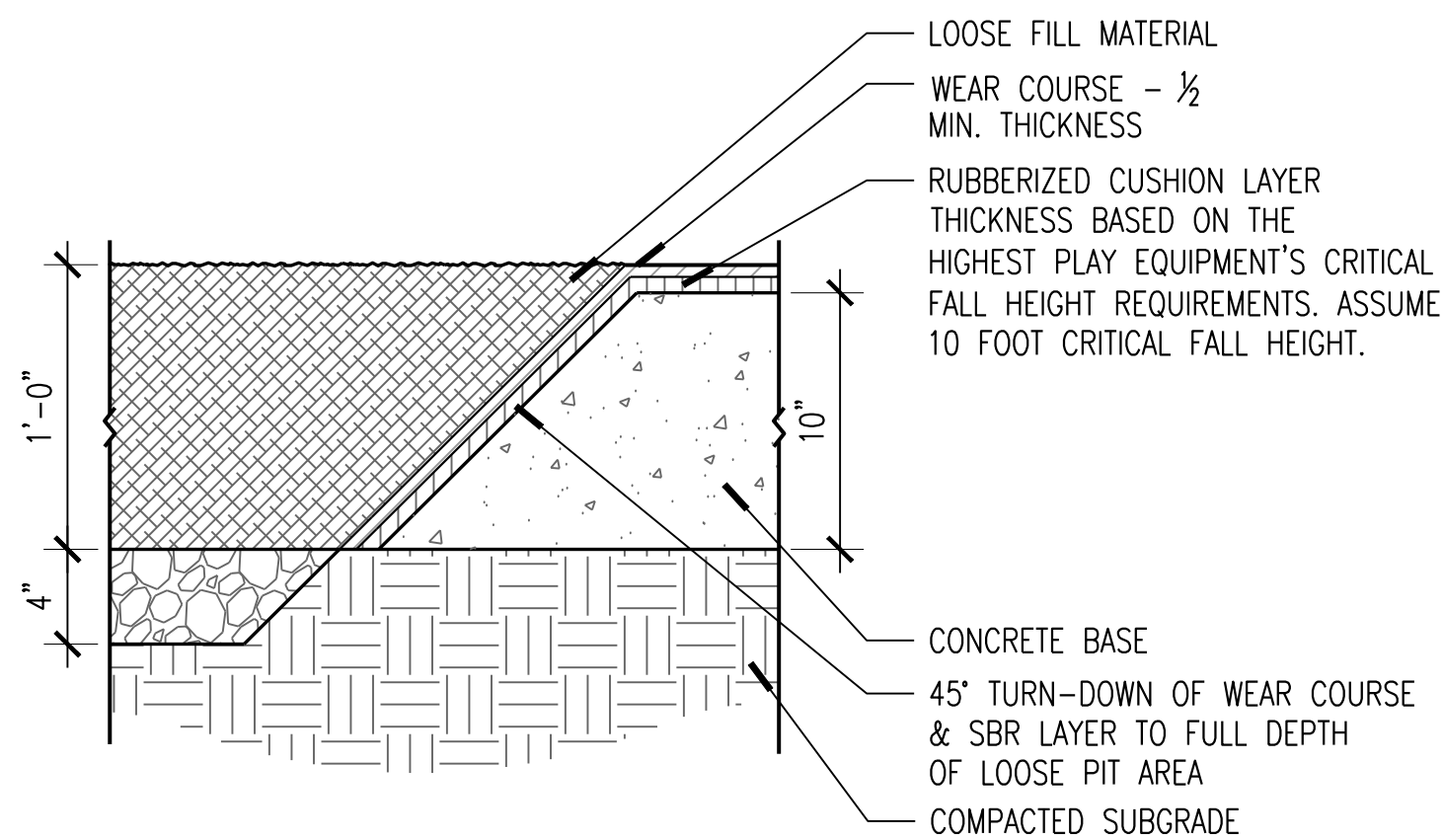


8 ENGINEERED WOOD FIBER

Section

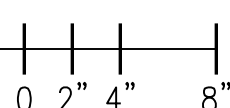


321200_01



7 POURED - IN - PLACE SURFACING

Section

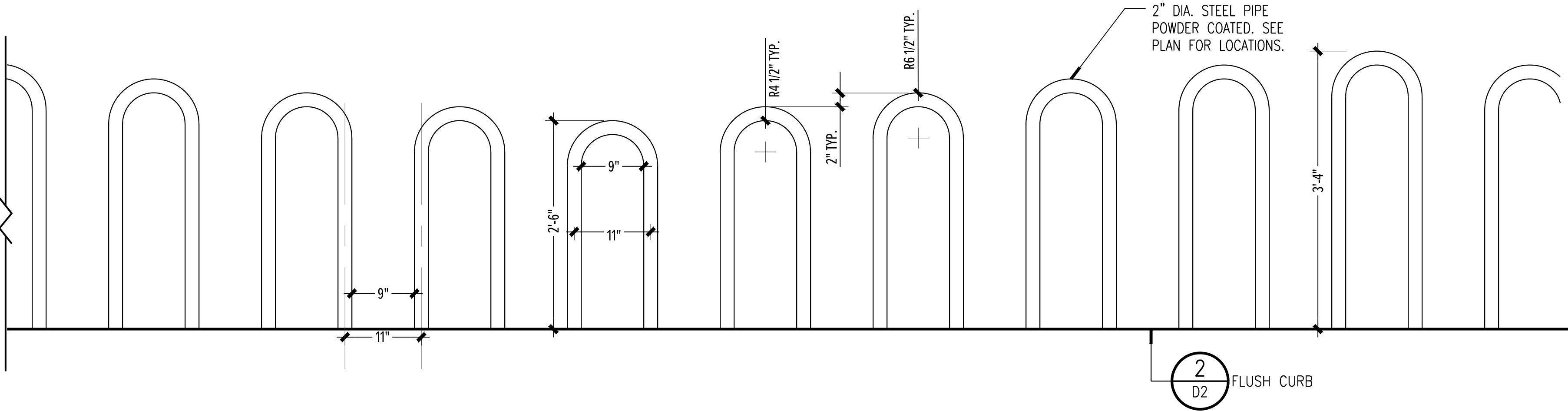


321200_01

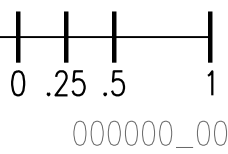
Revisions		
No.	Revision	Date

D2

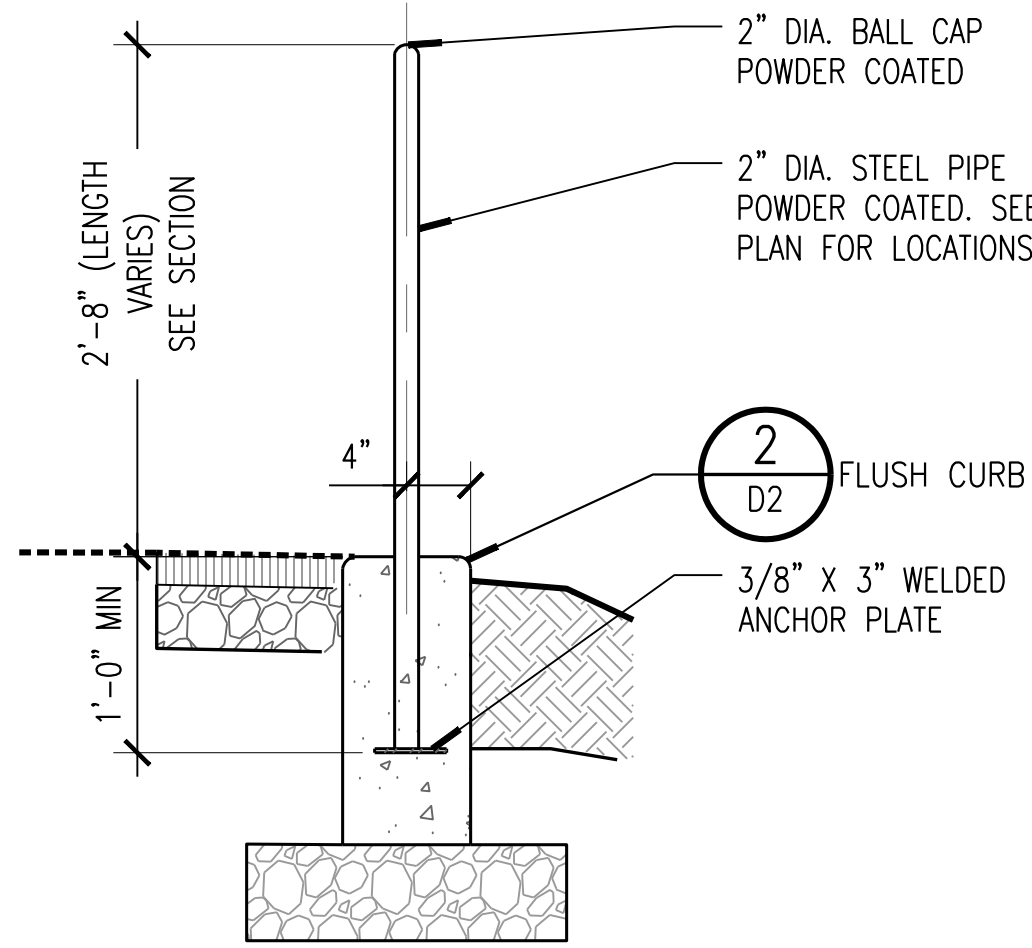
NOTES:
1. DECORATIVE FENCING IS TO BE POWDER COATED. CONTRACTOR TO COORDINATE COLOR WITH LANDSCAPE ARCHITECT



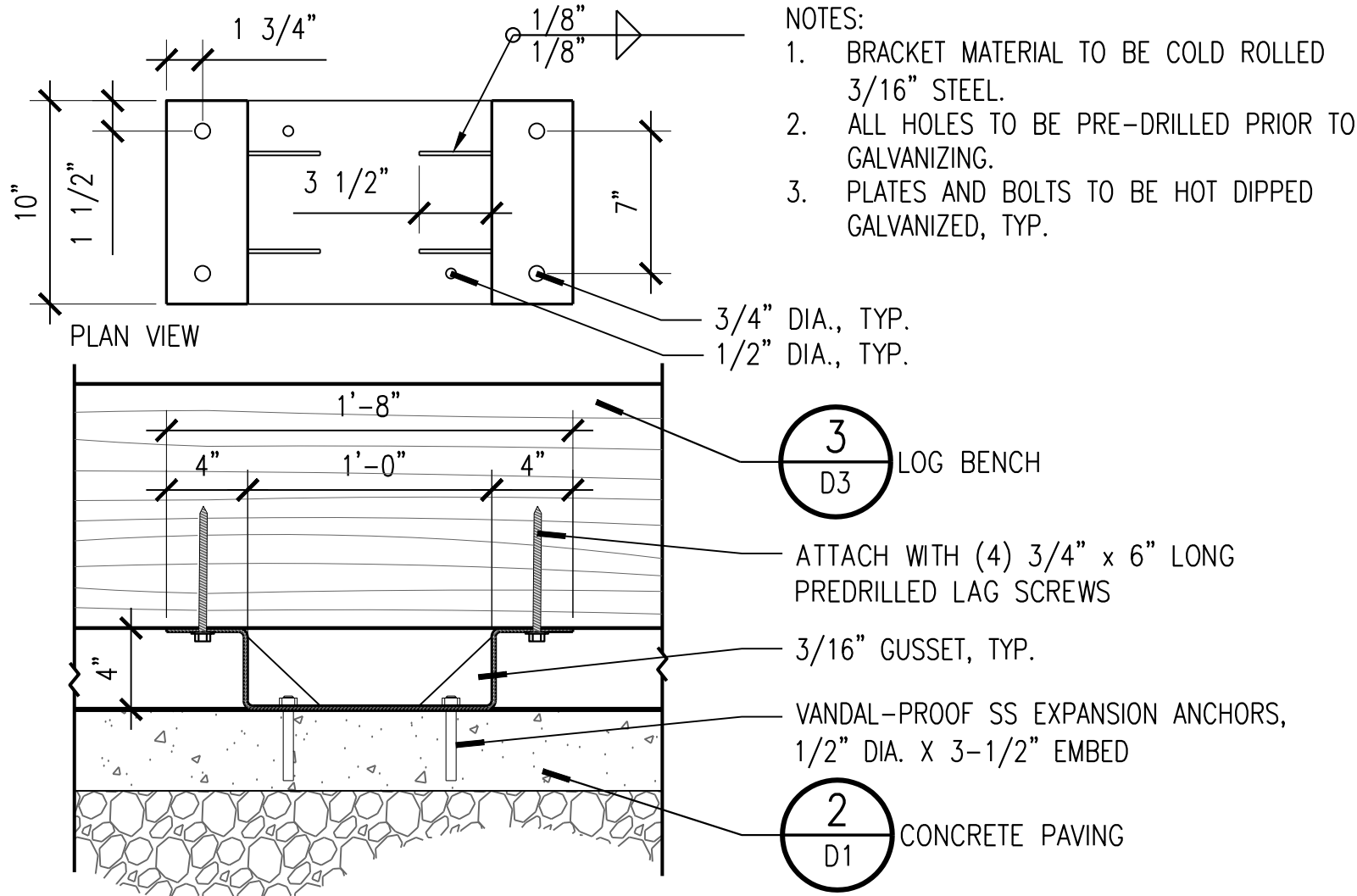
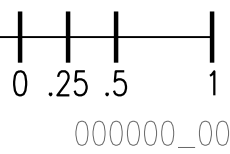
2 DECORATIVE BALL STOP FENCING - ELEVATION
Section



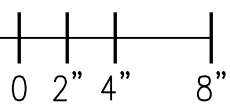
NOTES:
1. SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS SHALL INCLUDE SECTIONS AND ELEVATIONS SHOWING POST LOCATIONS, MATERIALS, DIMENSIONS AND WELD INFORMATION.



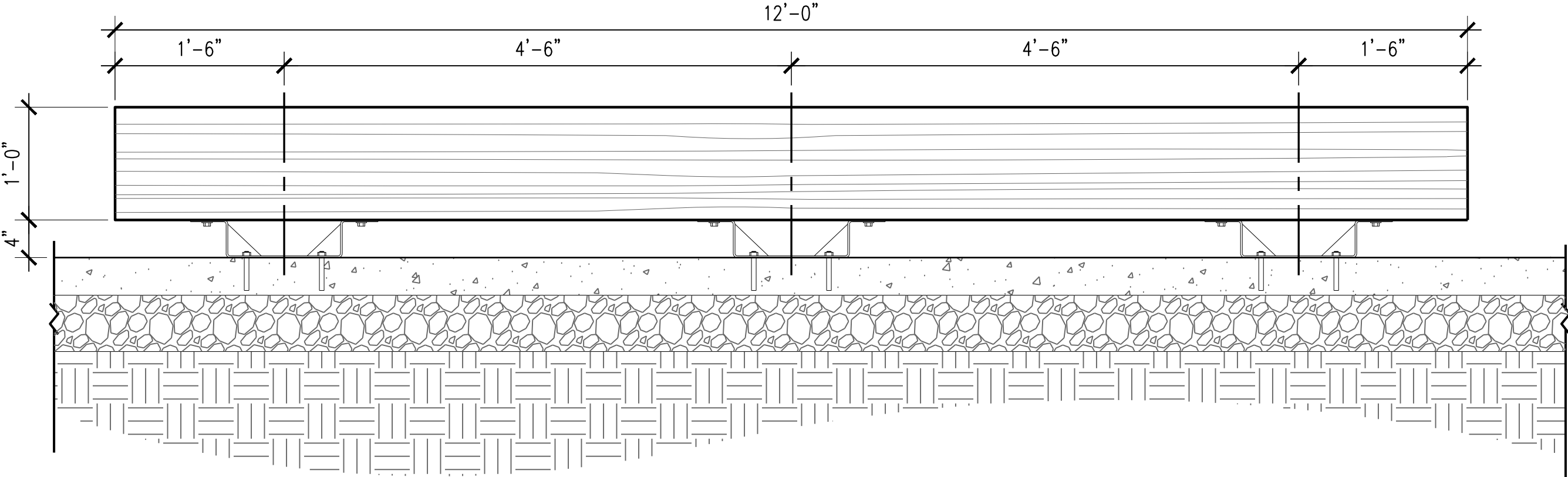
1 DECORATIVE BALL STOP FENCING
Section



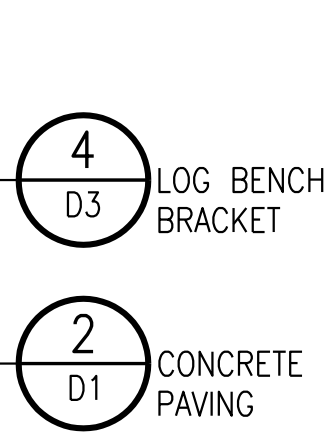
4 LOG BENCH BRACKET
Section



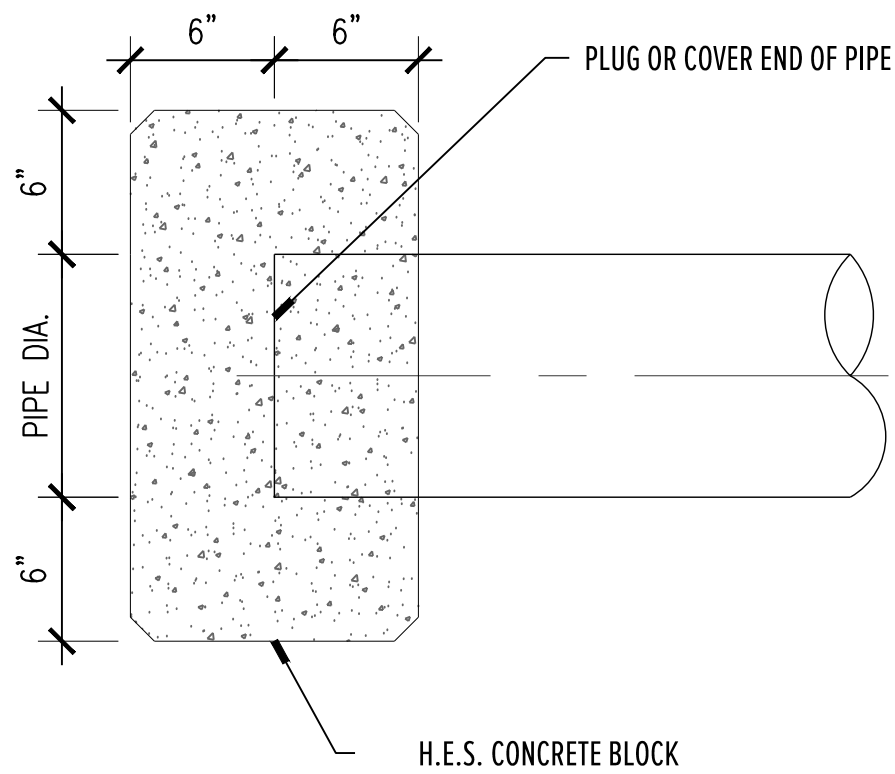
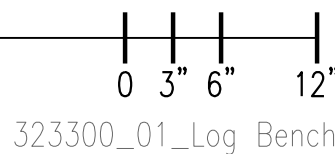
NOTES:
1. SELECT LOGS THAT MEET HEIGHT AND LENGTH REQUIRED NOTED.
2. LOGS SHALL BE PREPPED OFF SITE PRIOR TO DELIVERY. LOGS SHALL BE STRIPPED OF BARK AND FINISH SANDED TO 60 GRIT. REMOVE ALL SHARP EDGES AND LOOSE MATERIAL. PROVIDE 1 COAT MINIMUM OF FINISH SEALER.
3. LOGS TO PROVIDE FLAT LEVEL SEATING SURFACE. ENSURE BENCH IS SECURE AND STABLE AFTER INSTALLATION.
4. AFTER INSTALLATION, PROVIDE TOUCH UP SANDING, AS REQUIRED, AND SECOND FINISH COAT OF SEALER.



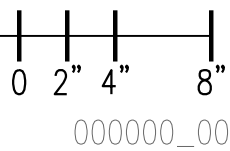
3 LOG BENCH
Section



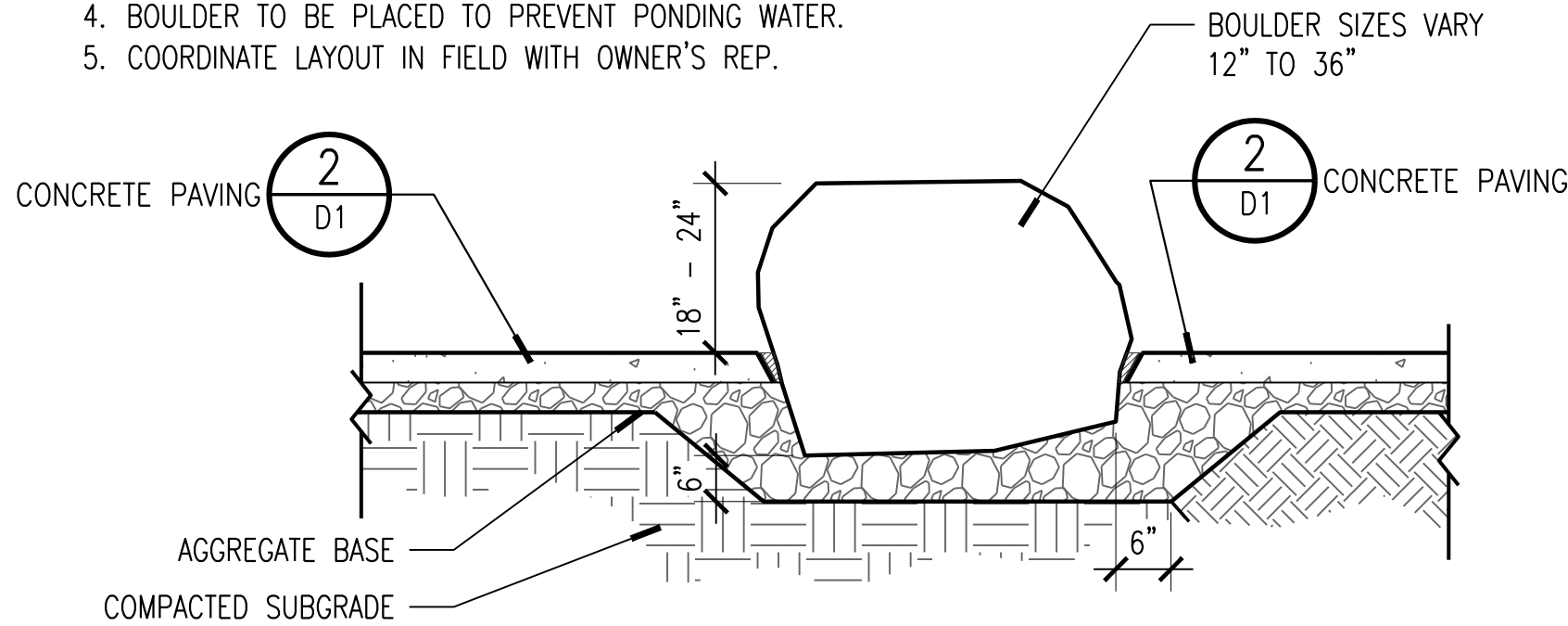
4 LOG BENCH BRACKET
2 D1 CONCRETE PAVING



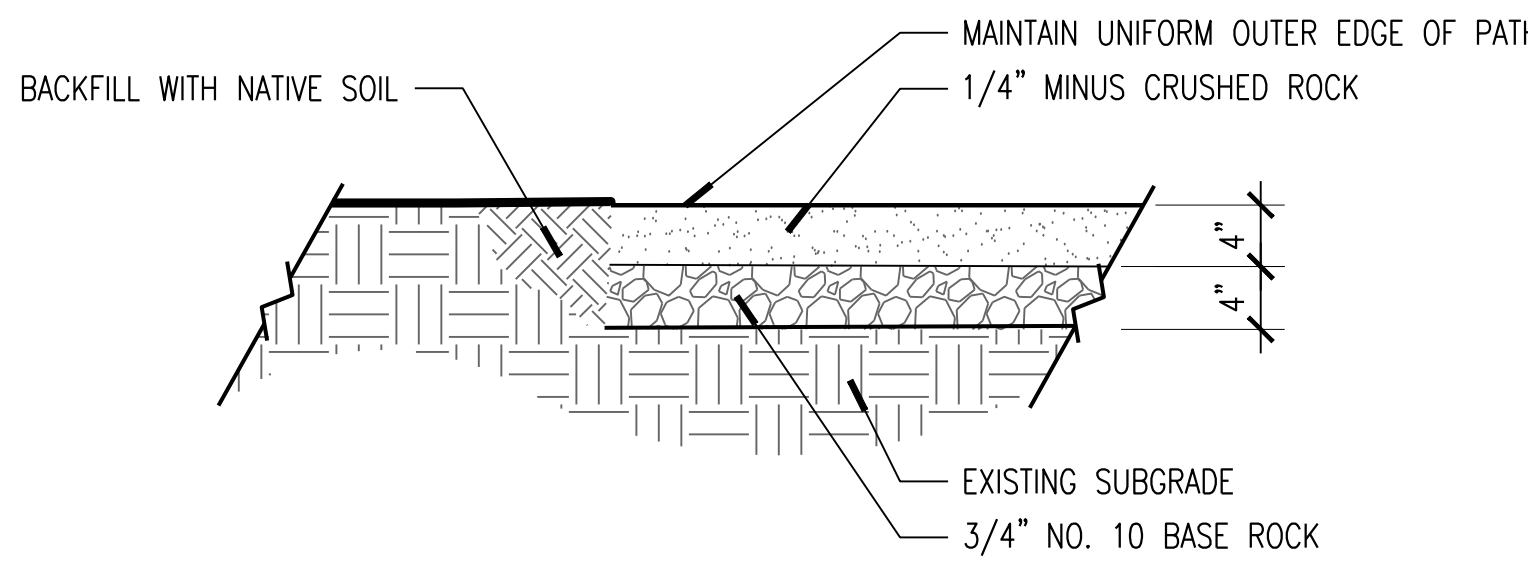
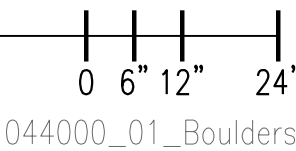
7 PIPE CUT AND PLUG
Section



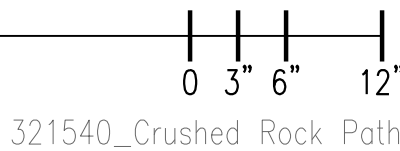
NOTES:
1. BURY A MIN. OF 1/3 OF OVERALL MASS OF BOULDER BELOW GRADE. BOULDER MUST REST IN STABLE POSITION FULLY SUPPORTING ITS OWN WEIGHT. SUBGRADE AND SURROUNDING SOIL MUST BE STABLE AND CAPABLE OF SUPPORTING BOULDERS WITHOUT SETTLING. BOULDERS MUST BE SECURE.
2. GROUP BOULDERS AS SHOWN ON PLANS
3. FILL ALL GAPS BETWEEN BOULDERS WITH 1/4 MINUS ROCK.
4. BOULDER TO BE PLACED TO PREVENT PONDING WATER.
5. COORDINATE LAYOUT IN FIELD WITH OWNER'S REP.



6 BOULDER SEATING
Section



5 CRUSHED ROCK PATH
Section



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SHEET DESCRIPTION:
CONSTRUCTION DETAILS

SUBMITTAL:
BID SET
PROJECT:
RIGLER ELEMENTARY
STORMWATER RETROFIT

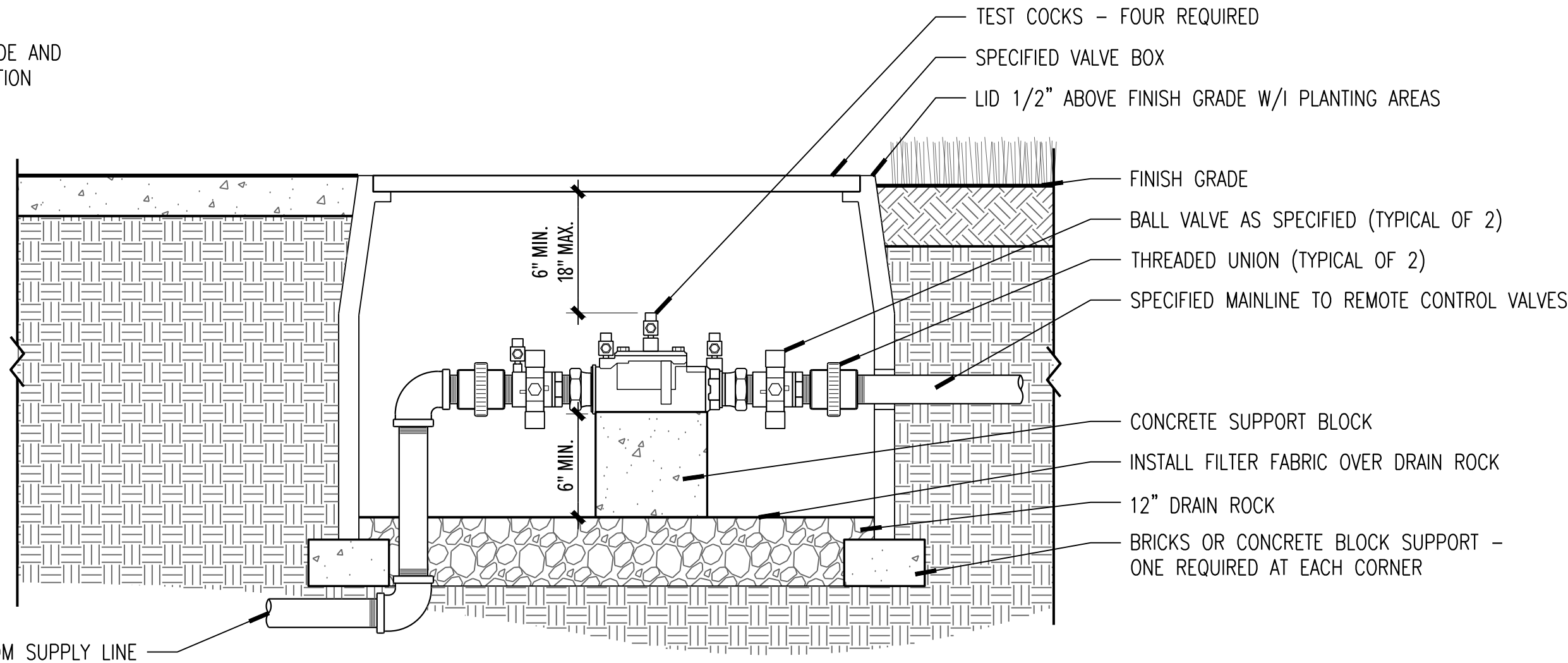
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Revisions		
No.	Revision	Date

D3

Scale: VARIES
Date: 04.11.2025
Drawn by: JW
Checked by: DE
Sheet 13 of 15

NOTE:
INSTALL BACKFLOW PREVENTOR PER CODE AND
REQUIREMENTS OF PREVAILING JURISDICTION



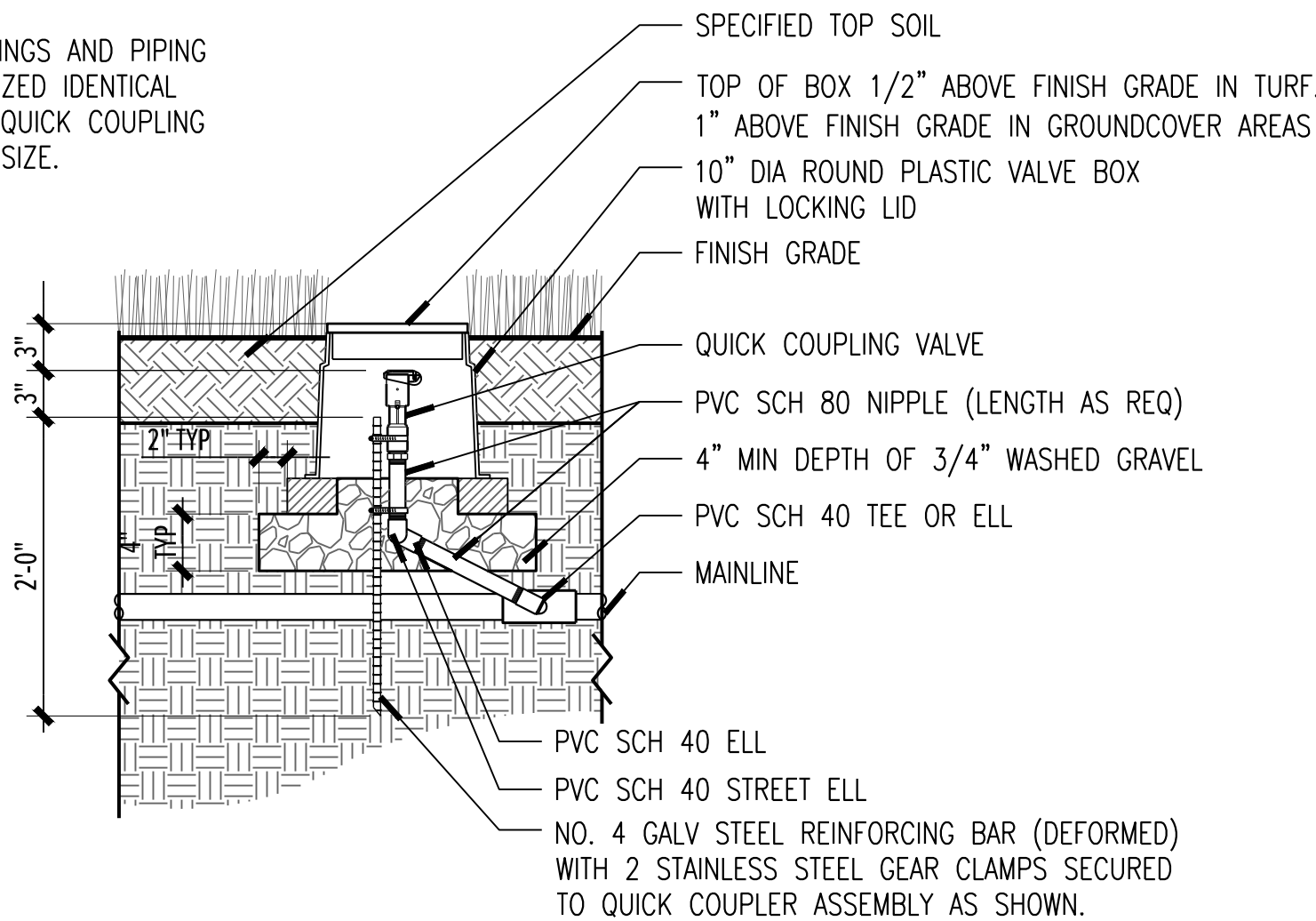
2 BACKFLOW PREVENTER

Section

0 3" 6" 12"

328000_04_Backflow Preventor

NOTE:
FURNISH FITTINGS AND PIPING
NOMINALLY SIZED IDENTICAL
TO NOMINAL QUICK COUPLING
VALVE INLET SIZE.

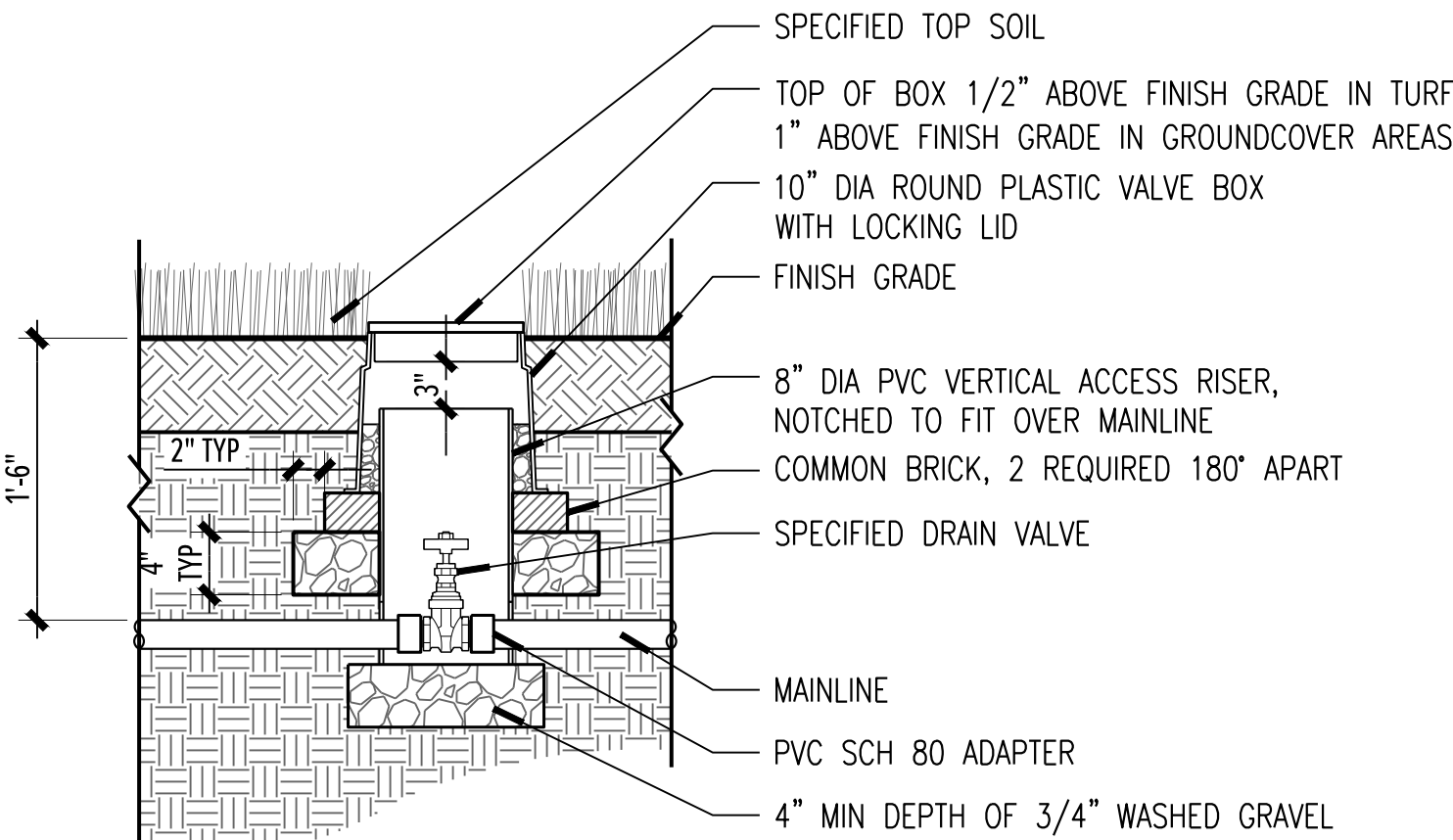


5 QUICK COUPLER

Section

NTS

328000_Quick Coupler_1

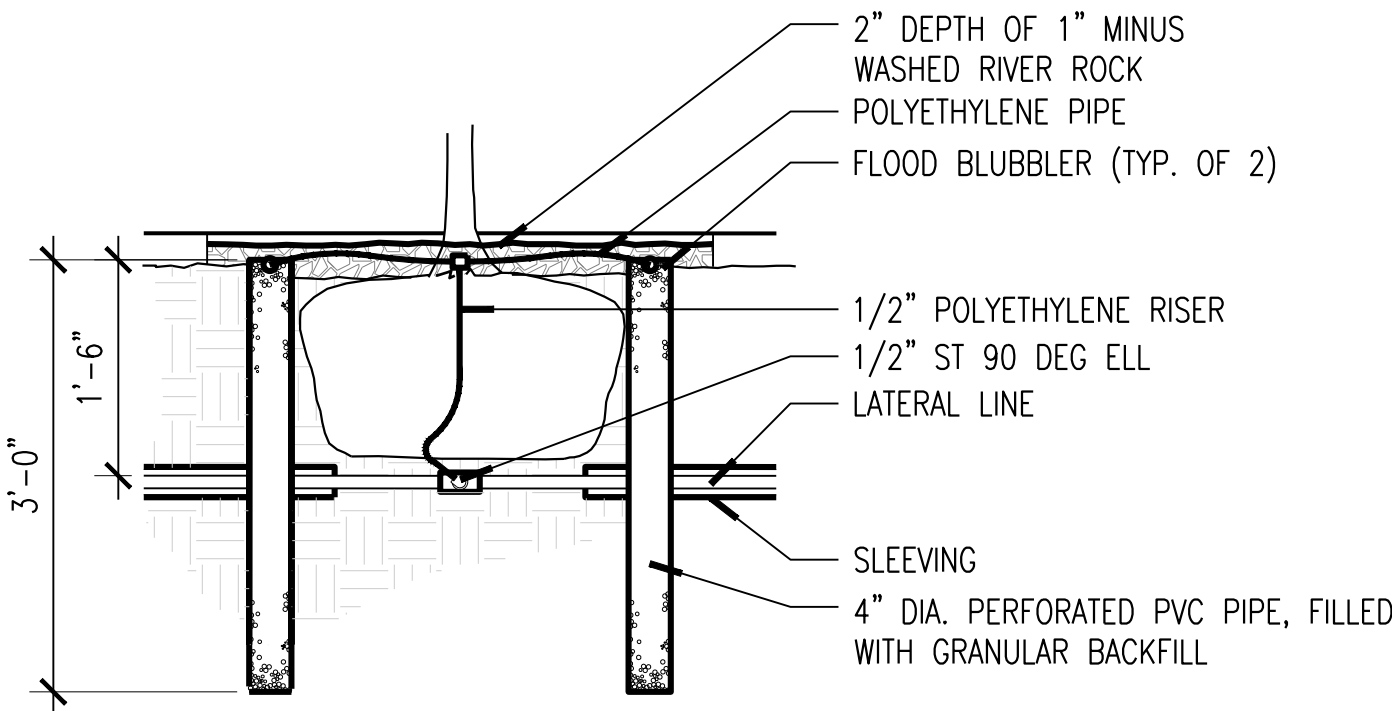


4 GATE VALVE

Section

0 3" 6" 12"

328000_Gate Valve_1

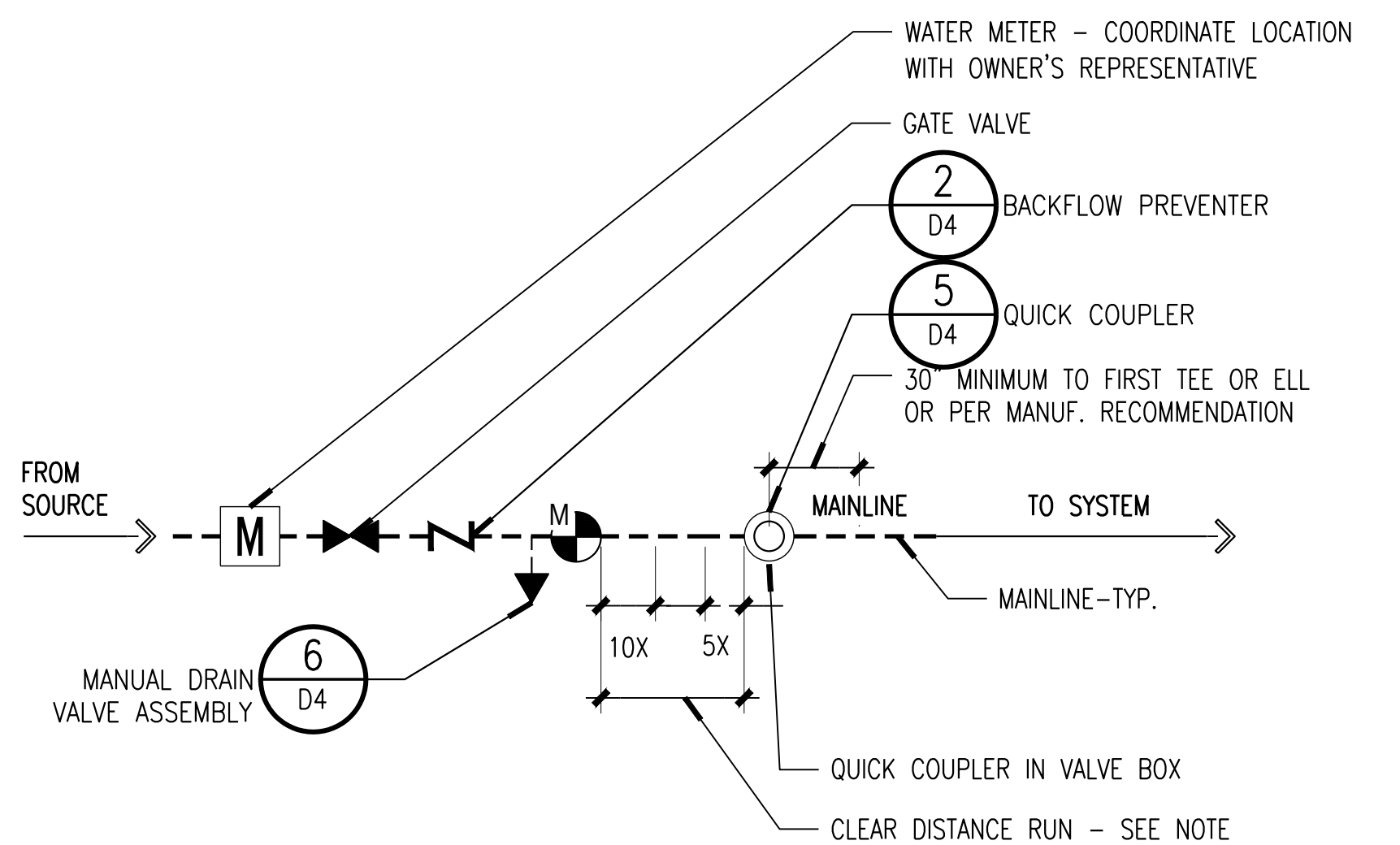


7 TREE BUBBLER

Section

0 4" 8" 16"

000000_00



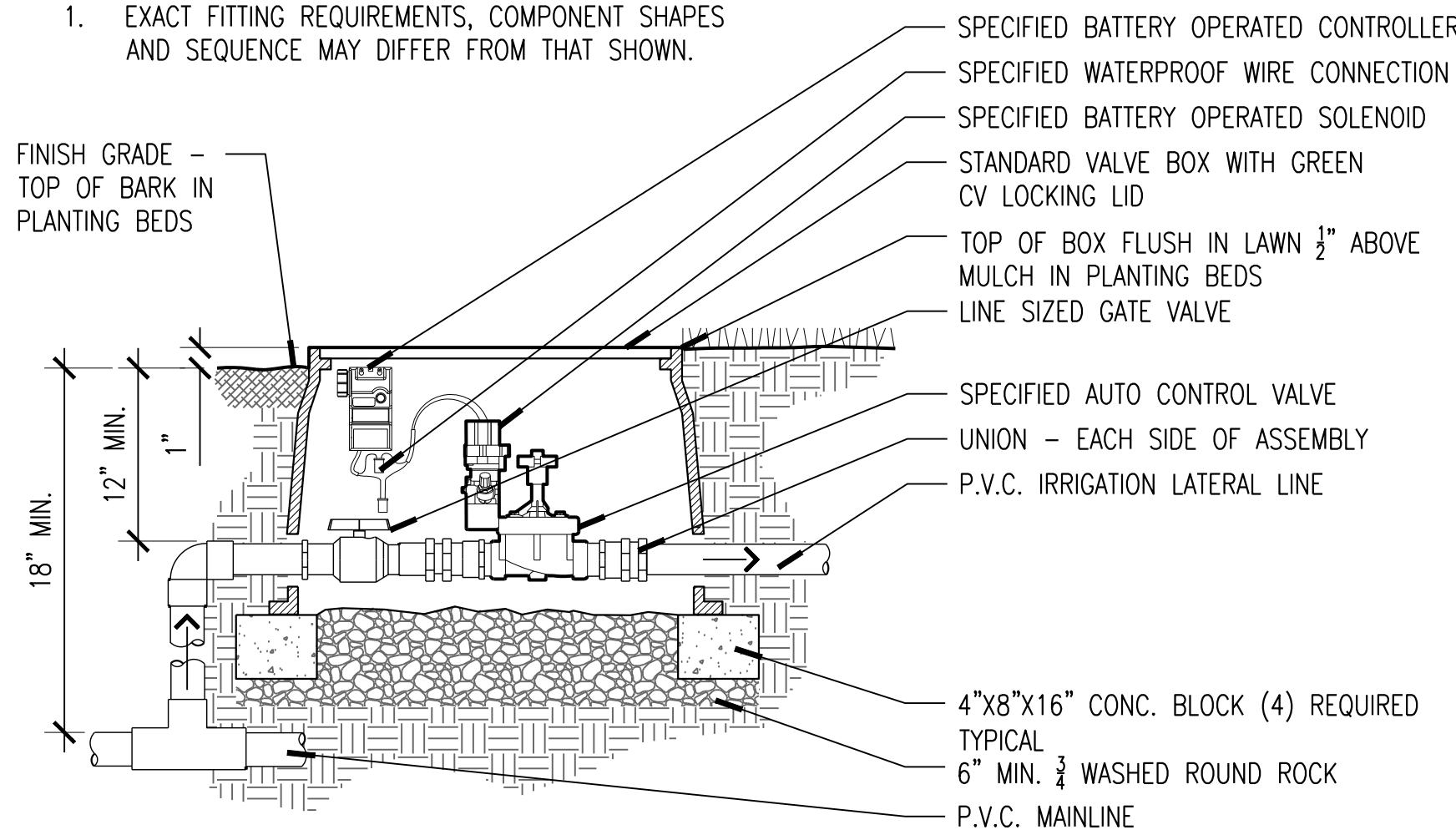
1 POINT OF CONNECTION DIAGRAM

Section

NTS

328000_Point of Connection Diagram

NOTE:
1. EXACT FITTING REQUIREMENTS, COMPONENT SHAPES
AND SEQUENCE MAY DIFFER FROM THAT SHOWN.

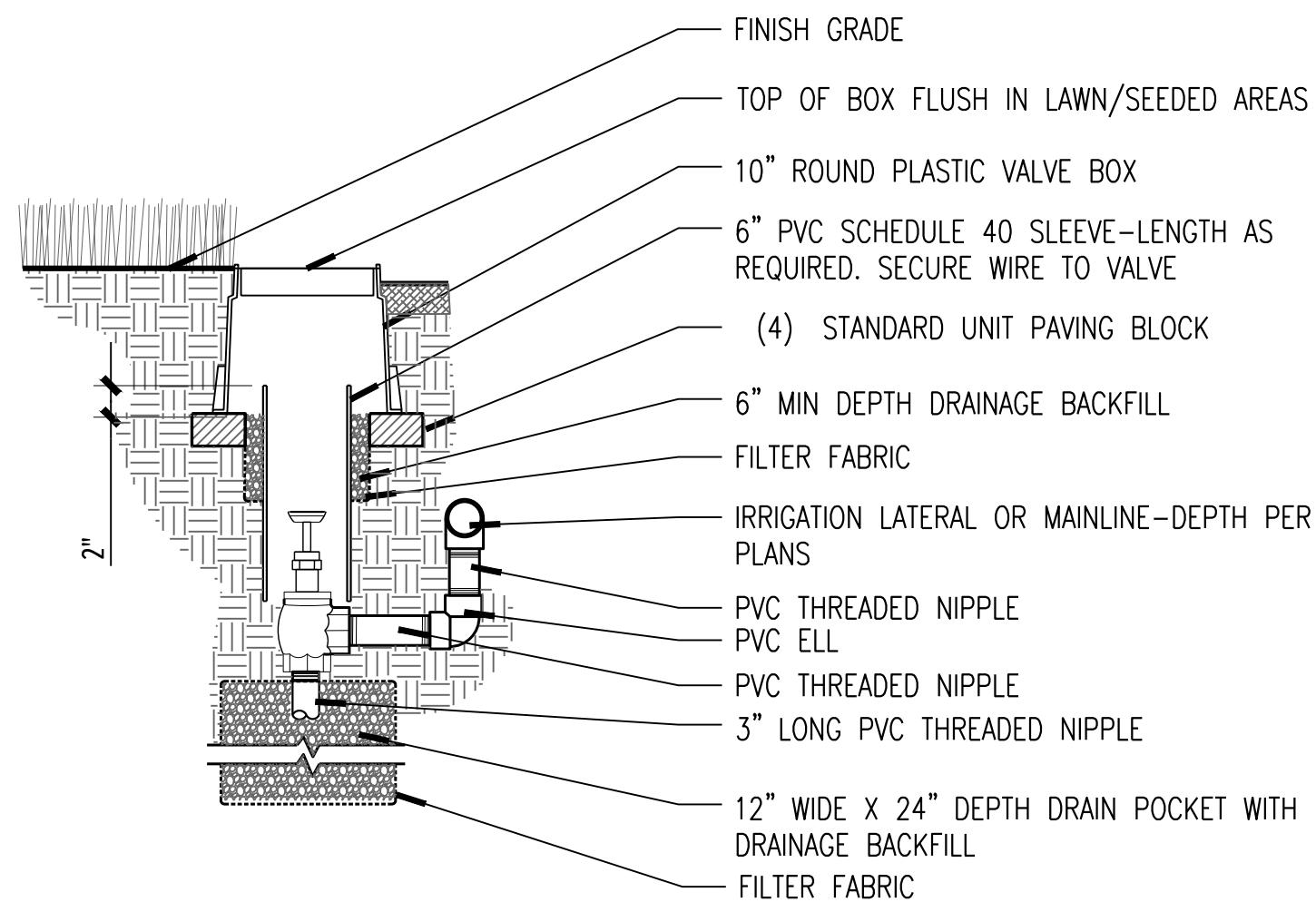


3 BATTERY OPERATED CONTROLLER VALVE

Section

NOT TO SCALE

328400_01_BATTERY OPERATED CONTROLLER



6 MANUAL DRAIN VALVE ASSEMBLY

Section

0 3" 6" 12"

328000_Manual Drain Valve Assembly

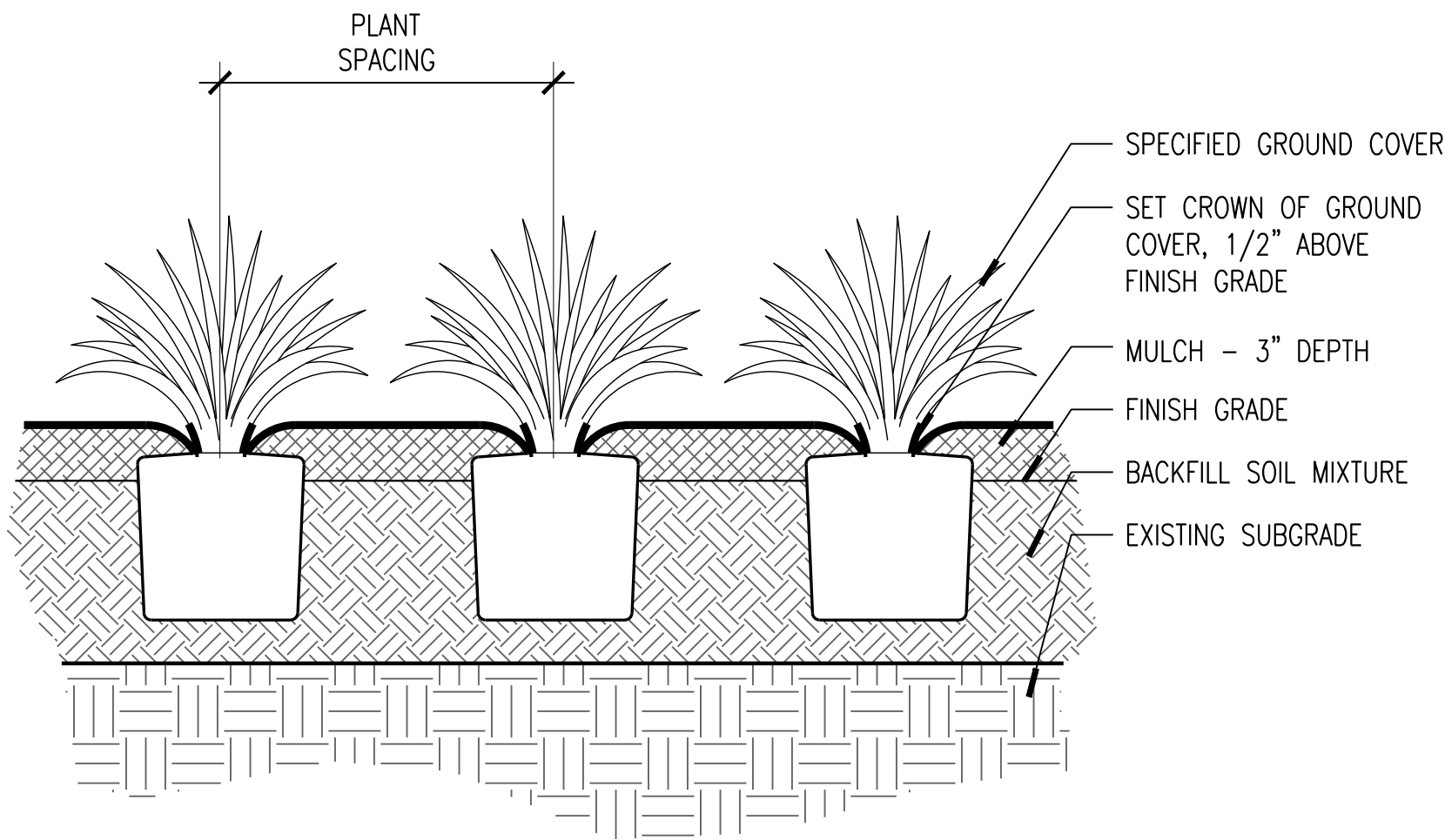
Revisions		
No.	Revision	Date

D4

Revisions		
No.	Revision	Date

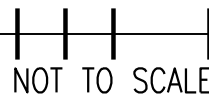
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Scale: VARIES
Date: 04.11.2025
Drawn by: JW
Checked by: DE
Sheet 15 of 15

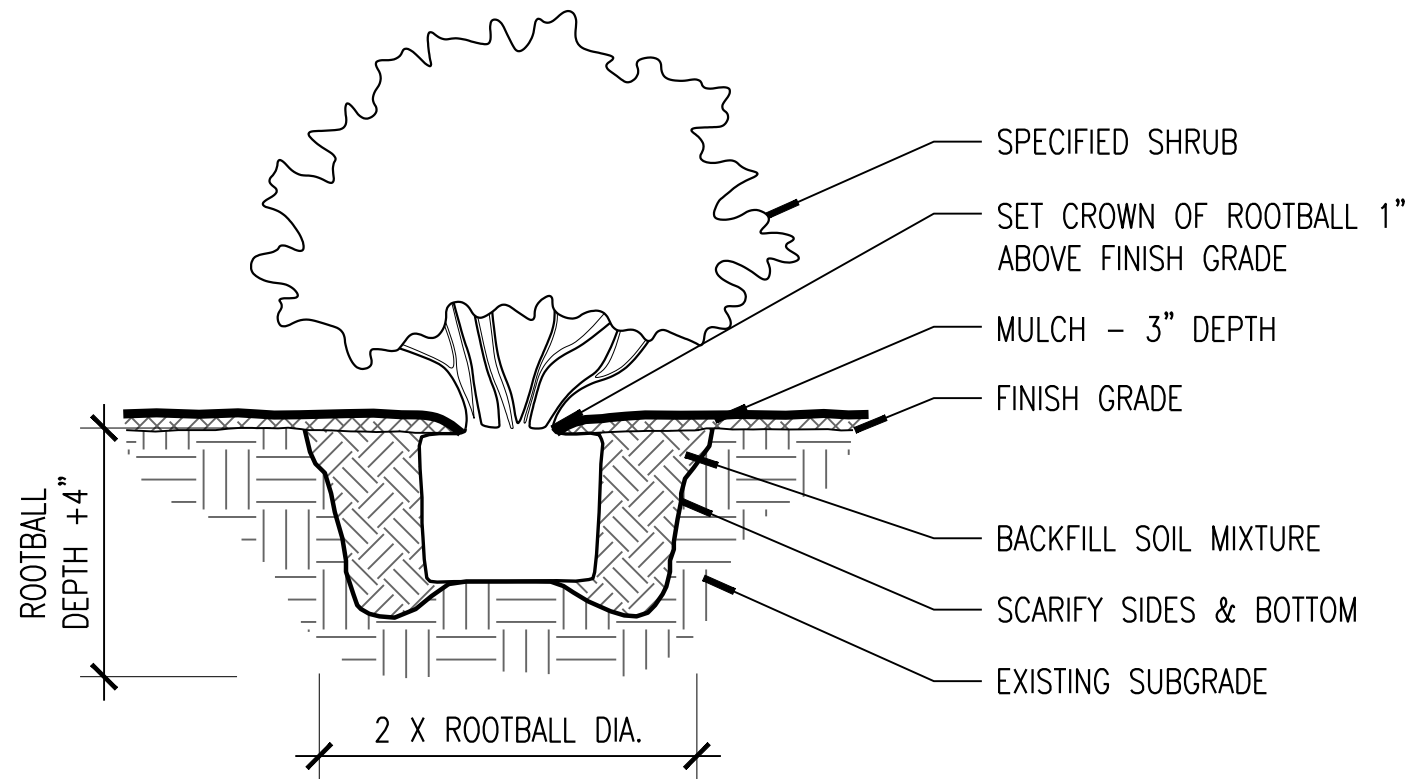


3 GROUND COVER PLANTING

Section

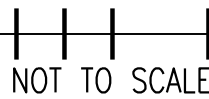


329313_02_Ground Cover Planting

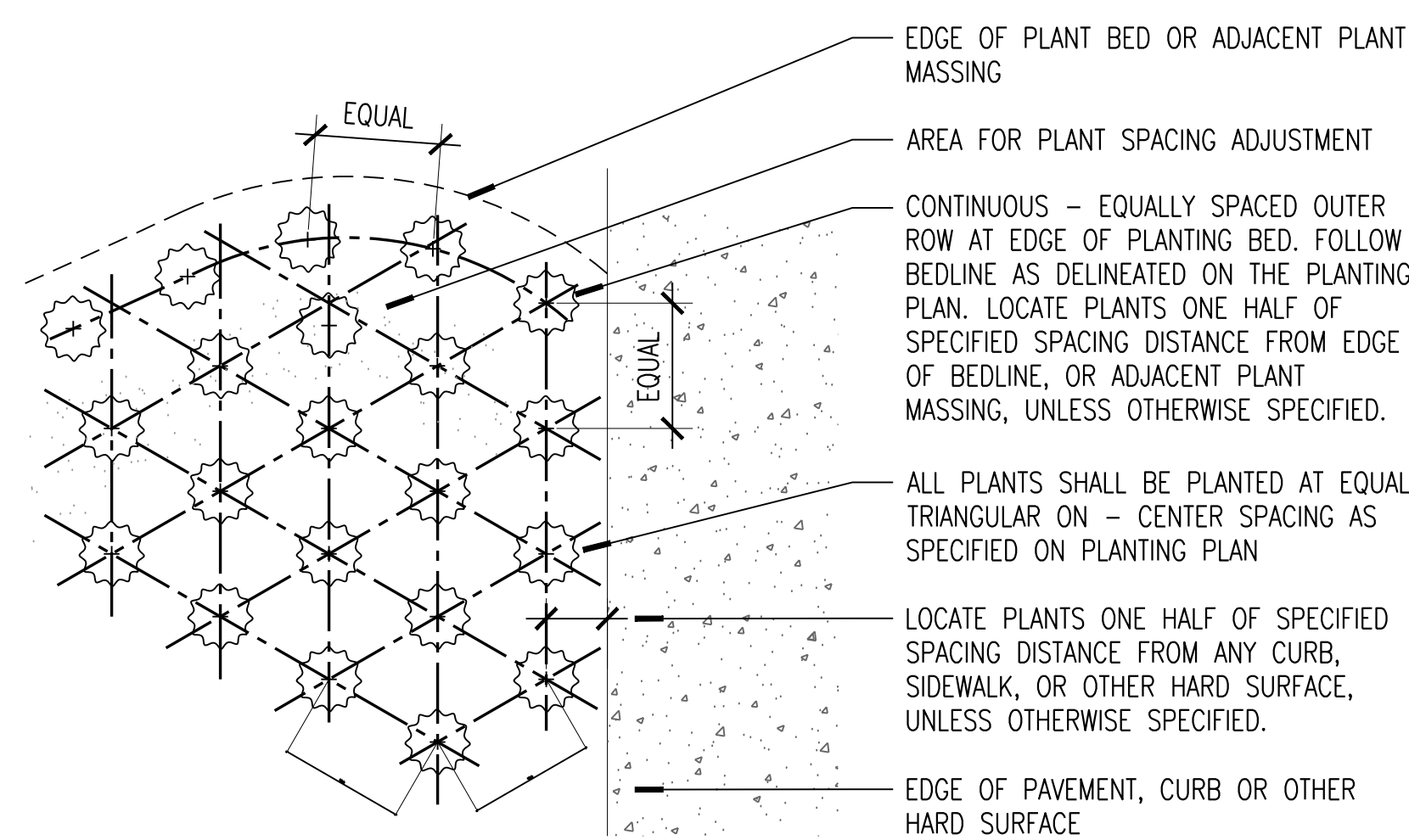


2 SHRUB PLANTING

Section

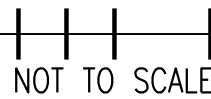


329333_01_Shrub Planting

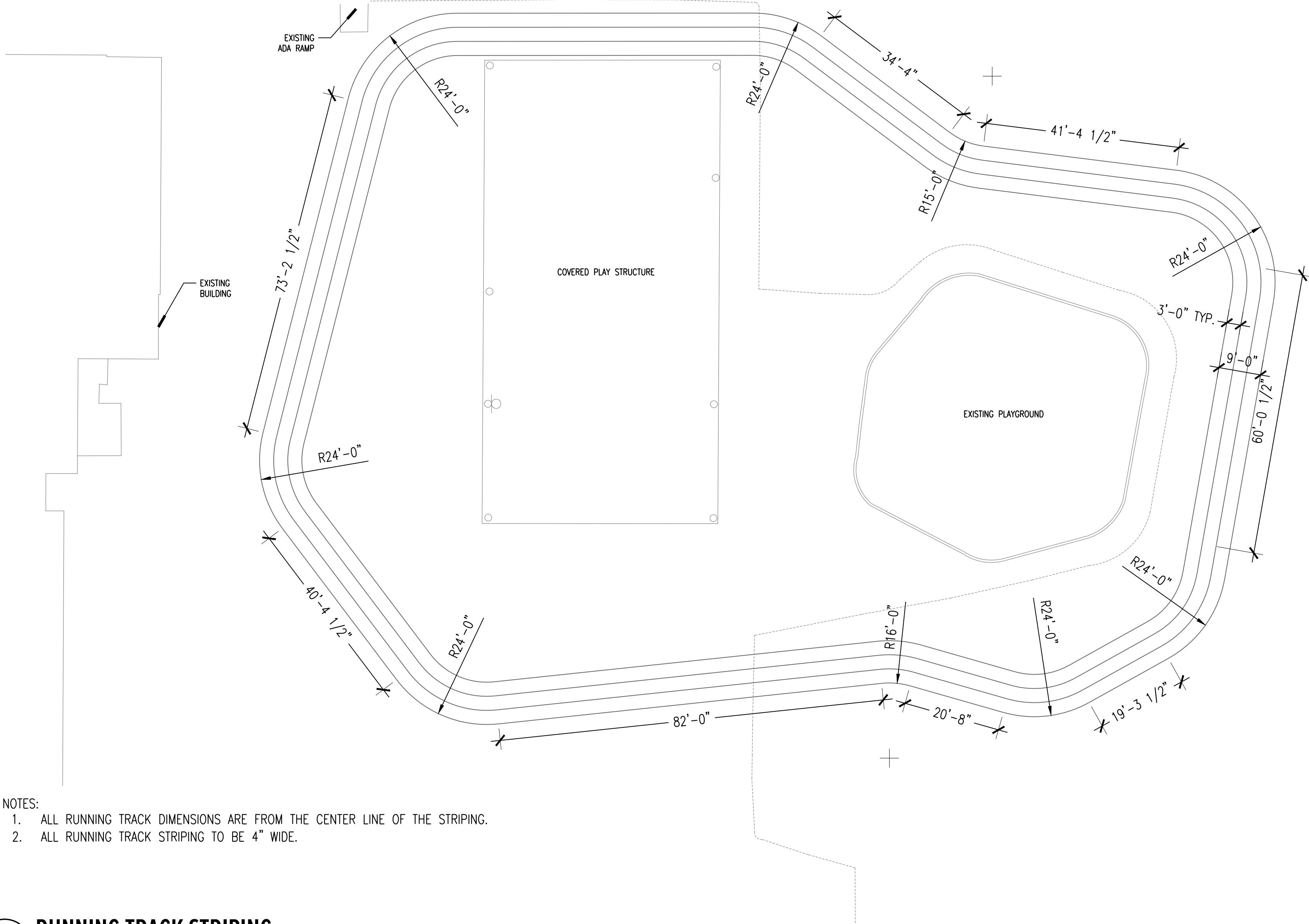


1 PLANT SPACING DETAIL

Section



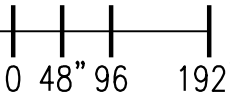
329313_01_Plant Spacing Detail



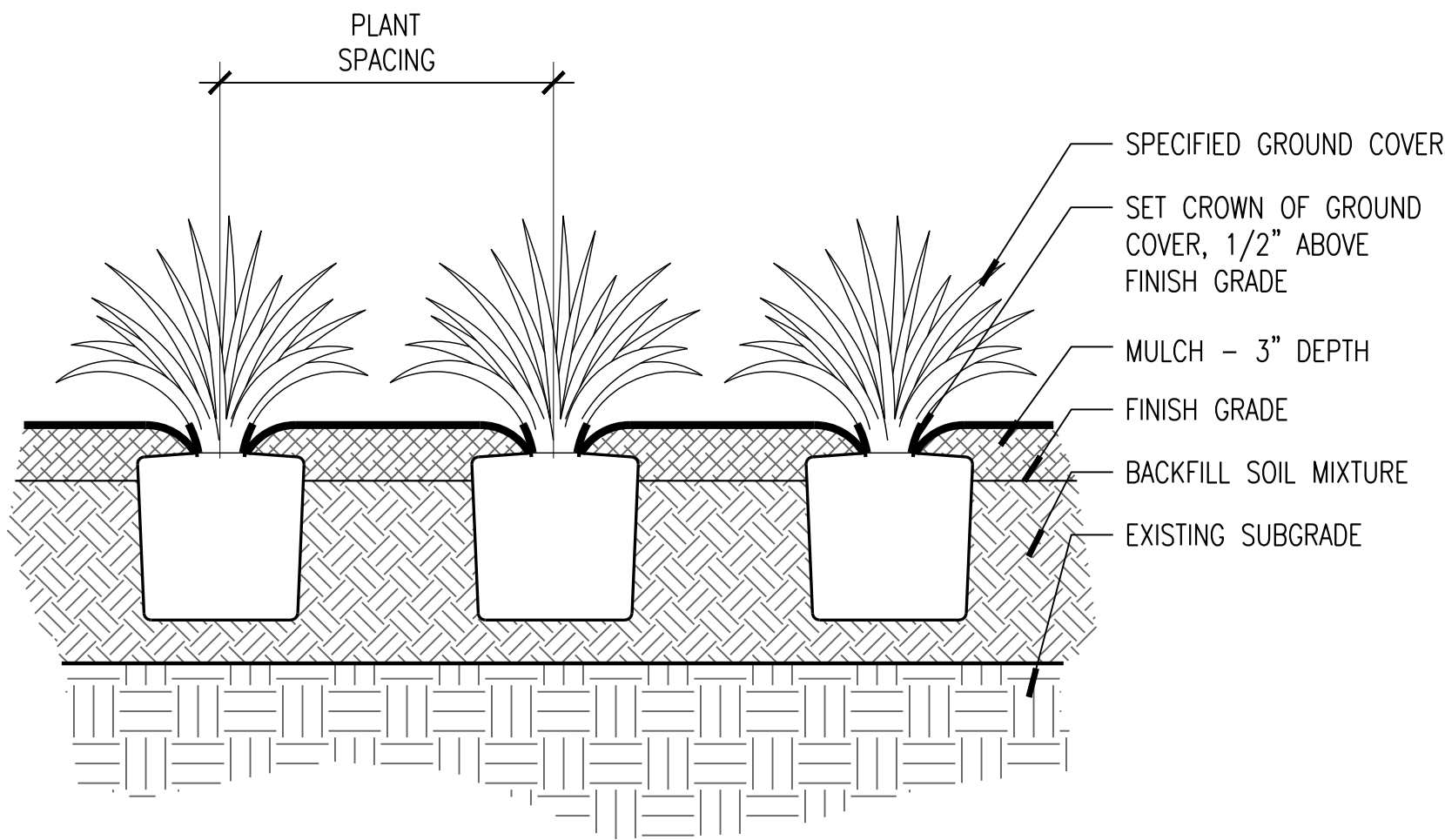
- NOTES:
- ALL RUNNING TRACK DIMENSIONS ARE FROM THE CENTER LINE OF THE STRIPING.
 - ALL RUNNING TRACK STRIPING TO BE 4" WIDE.

4 RUNNING TRACK STRIPING

Plan

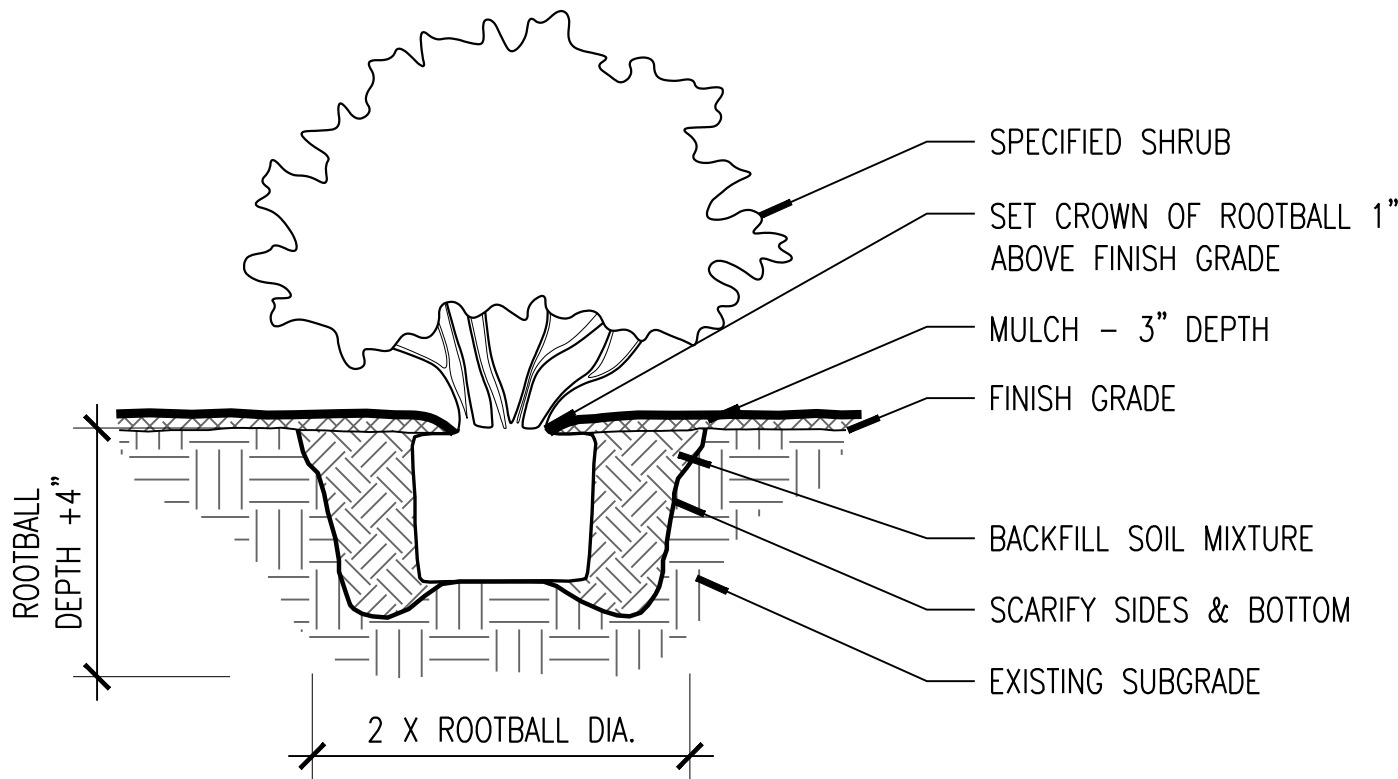


099113_02_Running Track



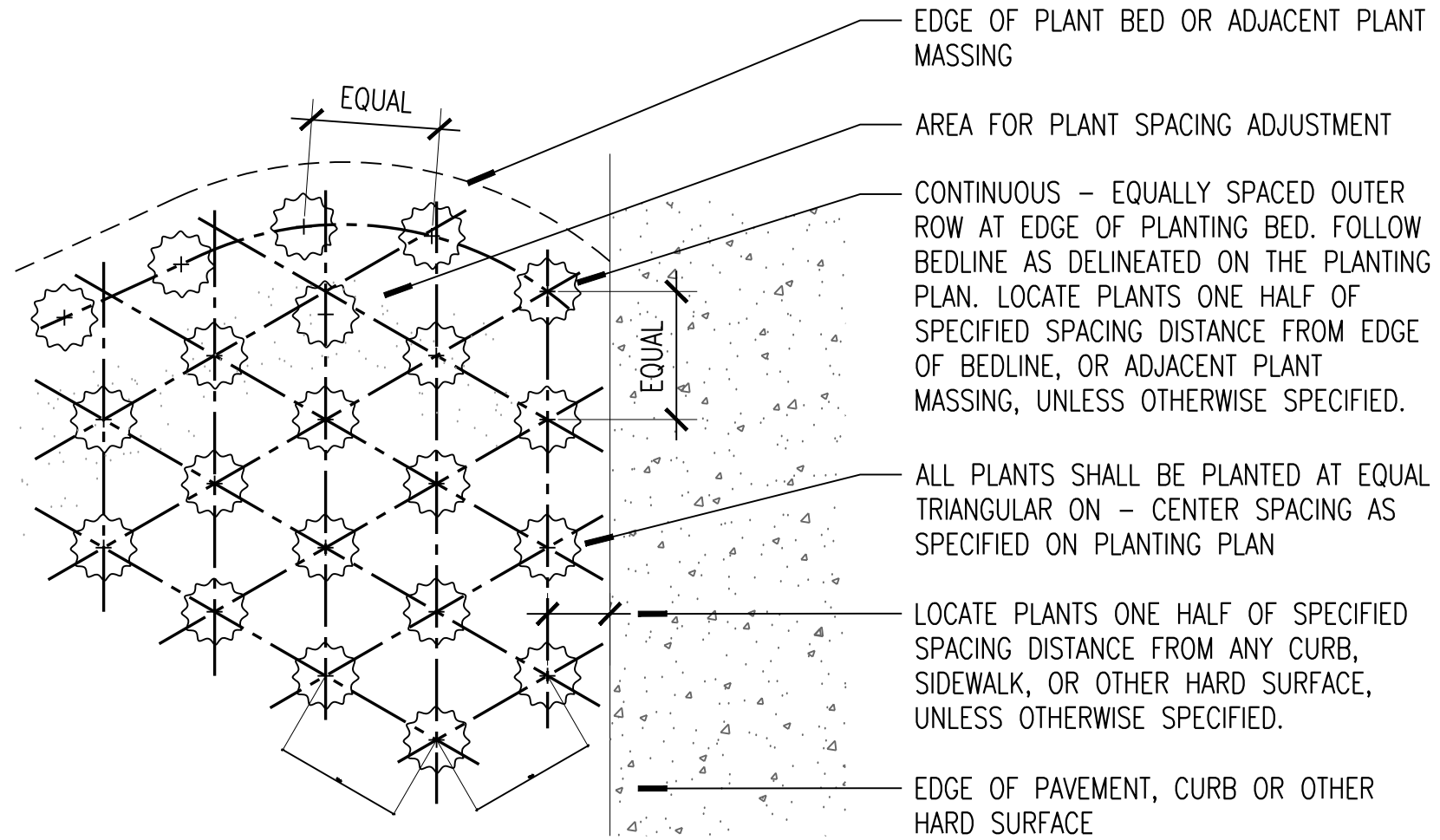
3 GROUND COVER PLANTING
Section

329313_02_Ground Cover Planting



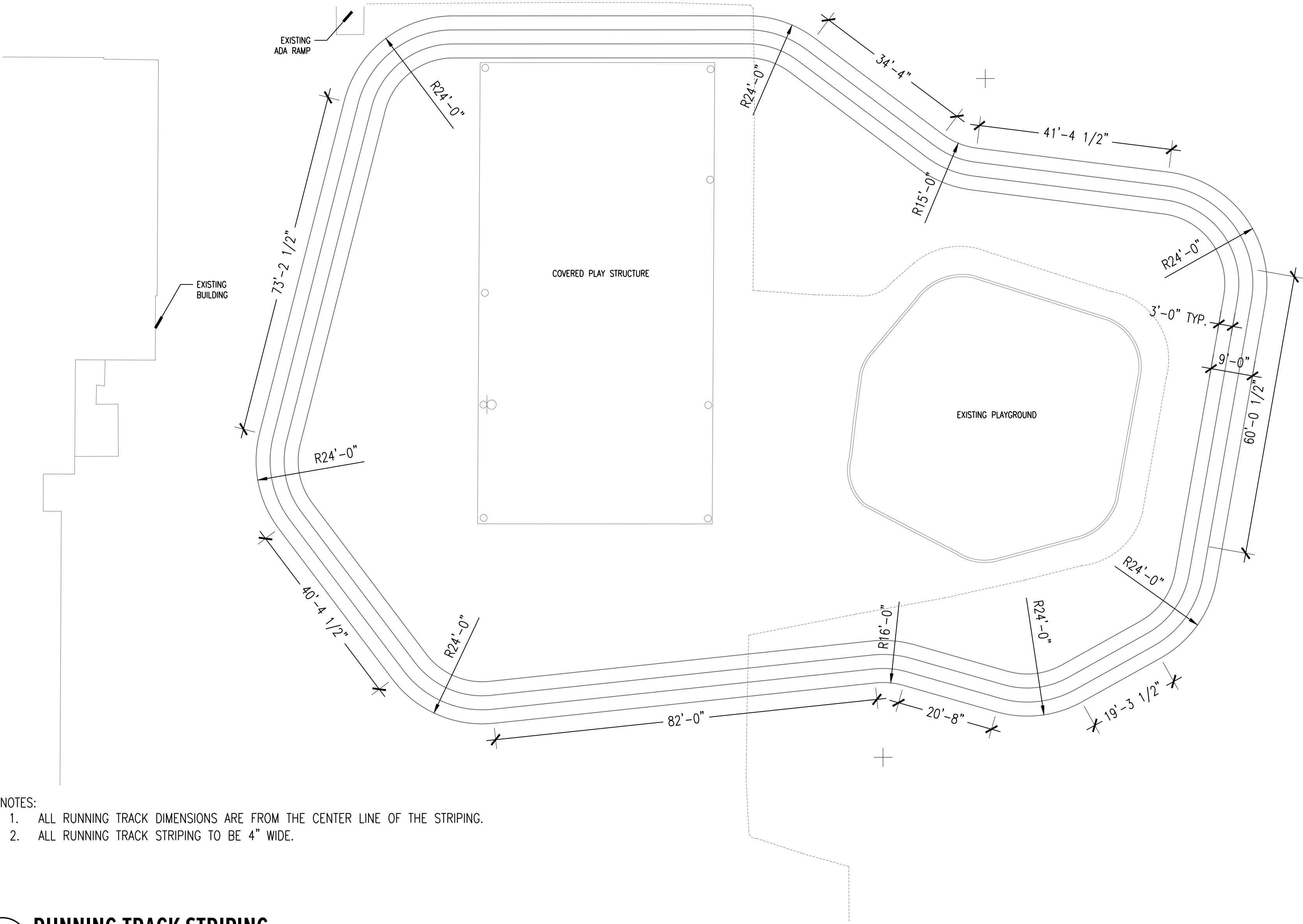
2 SHRUB PLANTING
Section

329333_01_Shrub Planting



1 PLANT SPACING DETAIL
Section

329313_01_Plant Spacing Detail



- NOTES:
1. ALL RUNNING TRACK DIMENSIONS ARE FROM THE CENTER LINE OF THE STRIPING.
 2. ALL RUNNING TRACK STRIPING TO BE 4" WIDE.

4 RUNNING TRACK STRIPING
Plan

0 48" 96 192"

099113_02_Running Track



5200 S MACADAM AVE, SUITE 210
PORTLAND, OR 97239
(503) 715-5453

Estuary Partnership
400 NE 11th Ave
Portland, OR 97232

Rigler Stormwater Retrofits
Rigler Elementary School
5401 NE Prescott St
Portland, OR 97218



SHEET DESCRIPTION:
CONSTRUCTION DETAILS

SUBMITTAL:
BID SET
PROJECT:
RIGLER ELEMENTARY
STORMWATER RETROFIT

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Revisions		
No.	Revision	Date

D5

Scale: VARIES
Date: 04.11.2025
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Checked by: DE
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